Stuart J. Lieberman, Esq. (ID #016521986)
Zoe N. Ferguson, Esq. (ID #350732020)
LIEBERMAN BLECHER & SINKEVICH, P.C.
10 Jefferson Plaza, Suite
400 Princeton, New Jersey
08540
Tel.: (732) 355-1311 Fax: (732) 355-1310
Attorneys for Plaintiffs Jeanne Daly, Polish American Strategic Initiative, Inc., and Polish American Strategic Initiative Educational Organization, Inc.

JEANNE DALY, POLISH AMERICAN STRATEGIC INITIATIVE, INC., and POLISH AMERICAN STRATEGIC INITIATIVE EDUCATIONAL ORGANIZATION, INC., Plaintiffs, vs. EXCHANGE PLACE ALLIANCE DISTRICT MANAGEMENT CORPORATION and JERSEY CITY PLANNING BOARD, Defendants.	SUPERIOR COURT OF NEW JERSEY HUDSON COUNTY LAW DIVISION Docket No.: HUD-L-2076-22 **Civil Action** **CERTIFICATION OF ZOE N. FERGUSON, ESQ. IN SUPPORT OF PLAINTIFFS' ACTION IN LIEU OF PREROGATIVE WRITS**

I, Zoe N. Ferguson, Esq., being of full age, do hereby certify as follows:

1. I am a licensed attorney and associate with the law firm of Lieberman Blecher & Sinkevich, P.C., counsel for Plaintiffs Jeanne Daly, Polish American Strategic Initiative, Inc., and Polish American Strategic Initiative Educational Organization, Inc. ("Plaintiffs") with regard to the above referenced matter.

2. A true and correct copy of a document titled "Development Application Review Staff Report," dated May 10, 2022, addressed to Planning Board Commissioners from Mallory Clark-Sokolov, PP, AICP and Tanya Marione, PP, AICP, regarding "Exchange Place Plaza Section 31 Review, is attached hereto as Exhibit A.

3. A true and correct copy of the new graphic renderings for Exchange Place Plaza are attached hereto as Exhibit B.

4. I have regularly checked the Exchange Place Alliance website since filing the complaint in this matter.

5. On or after November 29, 2022, the new graphic renderings were uploaded to the Exchange Place Alliance website under the hyperlink "Graphics Package" on the page "Capital Improvements."

6. Selecting the hyperlink "Graphics Package" leads to a slideshow document titled "Exchange Place Jersey City, NJ Graphics Package," with the date "11/02/2022" on the first slide.

7. Selecting "Document Properties" on the upper right-hand side of the display for this document shows the last date that the document was modified.

8. The last date the new graphic renderings document was modified is listed as November 29, 2022 at 4:28:54 p.m.

9. A true and correct copy of a screenshot of the "Document Properties" for the new graphic renderings is attached hereto as Exhibit C.

10. A true and correct copy of the site plans submitted to the Board for the Exchange Place Plaza project is attached hereto as Exhibit D.

11. A true and correct copy of the new site plans on the Exchange Place Alliance website is attached hereto as Exhibit E.

12. On or after December 7, 2022, the new site plans were uploaded to the Place Alliance website under the hyperlink "Civil Plans" on the page "Capital Improvements."

13. Selecting the hyperlink "Civil Plans" leads to a document titled "Preliminary/Final Site Plan Exchange Place Improvements."

14. Selecting "Document Properties" on the upper right-hand side of the display for this document shows the last date that the document was modified.

15. The last date the new site plans were modified is listed as December 7, 2022 at 4:46:57 p.m.

16. A true and correct copy of a screenshot of the "Document Properties" for the new site plans is attached hereto as Exhibit F.

17. A true and correct copy of the landscaping plans submitted to the Board for the Exchange Place Plaza project is attached hereto as Exhibit G.

18. A true and correct copy of the new landscaping plans on the Exchange Place Alliance website is attached hereto as Exhibit H.

19. On or after December 7, 2022, the new landscaping plans were uploaded to the Place Alliance website under the hyperlink "Landscaping Plans" on the page "Capital Improvements."

20. Selecting the hyperlink "Landscaping Plans" leads to a document titled "Exchange Place Jersey City, New Jersey Landscape Architecture Plans."

21. Selecting "Document Properties" on the upper right-hand side of the display for this document shows the last date that the document was modified.

22. The last date the new landscaping plans were modified is listed as December 7, 2022 at 5:05:46 p.m.

23. A true and correct copy of a screenshot of the "Document Properties" for the new landscaping plans is attached hereto as Exhibit I.

24. A true and correct copy of Jersey City Ordinance 20-062 is attached hereto as Exhibit J.

25. A true and correct copy of the deed conveying 1 Exchange Place (Block 14502, Lot 1) to One Exchange JC Urban Renewal, LLC (f/k/a One Exchange JC LLC), a Delaware limited

liability company, 4100 Regent Street, Suite G, Columbus, Ohio 43219, recorded at Deed Book 8834, Page 761 in Hudson County, New Jersey, February 24, 2012, is attached hereto as Exhibit K.

26. A true and correct copy of the deed conveying 15 Exchange Place (Block 14502, Lot 2) is 15 Exchange Owner LP, a Delaware limited partnership, 910 East County Line Road, Suite 202, Lakewood, NJ 08701, recorded at Deed Book 9650, Page 978 in Hudson County, New Jersey, March 18, 2022, is attached hereto as Exhibit L.

27. A true and correct copy of an article published by the Jersey Journal on NJ.com on December 1, 2022, titled "New designs for Exchange Place Plaza open up space around Katyn Memorial," is attached hereto as Exhibit M.

28. A true and correct copy of the original graphic renderings is attached hereto as Exhibit N.

29. A true and correct copy of the transcript for the April 26, 2022 hearing is attached hereto as Exhibit O.

30. A true and correct copy of the transcript for the May 10, 2022 hearing is attached hereto as Exhibit P.

31. A true and correct copy of the New York Times article dated May 11, 2018, titled "Jersey City Argues Over a Statue, and Politicians in Poland Weigh In," is attached hereto as Exhibit Q.

32. A true and correct copy of a Jersey Journal article dated April 30, 2018, titled "Critics slam plan to move N.J. statue commemorating Polish massacre," is attached hereto as Exhibit R.

33. A true and correct copy of a Hudson County View article dated February 1, 2023, titled "FEC: Super PAC tied to Jersey City mayor's expected gov run has $6.2M cash on hand," is attached hereto as Exhibit S.

34. A true and correct copy of a Twitter post by Mayor Steven Fulop of Jersey City, dated May 10, 2018, is attached hereto as Exhibit T.

35. A true and correct copy of an Real Estate NJ article dated February 1, 2023, titled "Panepinto, Naparstek and Elkouby join Exchange Place Alliance board in Jersey City," is attached hereto as Exhibit U.

36. A true and correct copy of a Bloomberg News article dated June 28, 2019, titled "Jersey City's Renaissance Puts Mayor's Ally in a Squeeze," is attached hereto as Exhibit V.

37. A true and correct copy of a report by Carlos Rodrigues, F.A.I.C.P./P.P., titled "Planning Report in Support of Legal Challenge to the Jersey City Planning Board's Article 31 Review of Landscaping and Other Changes to Exchange Place in Jersey City, NJ," is attached hereto as Exhibit W.

38. A true and correct copy of Jersey City Ordinance 18-144 is attached hereto as Exhibit X.

39. I searched the New Jersey Division of Consumer Affairs database on February 23, 2023, and found that neither Mr. Carman nor Ms. Gornelli is licensed as a professional planner in New Jersey.

40. A true and correct copy of Jersey City Ordinance 16-176 is attached hereto as Exhibit Y.

41. A true and correct copy of the letter from Don Pepe dated April 29, 2022 requesting reconsideration is attached hereto as Exhibit Z.

I hereby certify that the foregoing statements made by me are true. I am aware that if any of the foregoing statements made by me are willfully false, I am subject to punishment.

Dated: February 24, 2023

/s/ Zoe N. Ferguson
Zoe N. Ferguson

Exhibit A

CITY OF JERSEY CITY
DIVISION OF CITY PLANNING
1 JACKSON SQUARE, JERSEY CITY NJ, 07305

DEVELOPMENT APPLICATION REVIEW | STAFF REPORT

DATE :	05.10.2022
TO :	Planning Board Commissioners
FROM :	Mallory Clark-Sokolov, PP, AICP, Senior Planner Tanya Marione, PP, AICP, Division Director
CASE :	P21-142
PROJECT :	Exchange Place Plaza Section 31 Review

I. APPLICATION BACKGROUND + PROPOSAL

- **Existing Conditions:** The site is currently an open, largely un-amenitized public hardscape plaza that hosts the Memory of Katyn memorial statue. The plaza is located east of Hudson Street directly adjacent to the Hudson River Waterfront Walkway, J. Owen Grundy Park, and the Exchange Place PATH station entryways.
- **Proposed Conditions:** The site proposes a cosmetic upgrade to the existing hardscape plaza including a new pavement design, security bollards, at-grade vehicular and pedestrian striping for a designated service drive and hotel drop-off zone, several new planting beds for landscaping and trees, and the addition of several public amenities such as seating areas and tables, a playground, a bench and landscape area adjacent to the Memory of Katyn memorial statue, and an updated Citi Bike station.

II. STAFF COMMENTS

- The plan as proposed maintains the current use of the space as public pedestrian plaza and is consistent with the goals and objectives of the Jersey City Master Plan Open Space Element by accomplishing the following:
  - Enhance Every Square Inch:
    9. Design parks to be welcoming and accessible spaces.
    11. Collaborate across City agencies.
    14. Expand the number, mix, and distribution of programs.
    15. Reflect contemporary tastes and trends in parks and open spaces.

  - Strengthen Connectivity
    21. Install facilities proximate to parks that separate pedestrians and bicyclists from traffic as much as possible.
    22. Connect parks & open spaces through the city street network with fully accessible biking and walking facilities.
    24. Implement JC Pedestrian Enhancement Plan and Let's Ride JC Plan with a focus on access to parks and schools.
    25. Link to and invest in community resources close to existing or future transit stations and stops

  - Invest in A Resilient Future
    30. Create productive landscapes in underutilized or interstitial spaces, and along waterfront shorelines
    32. Expand tree coverage equitably throughout the City

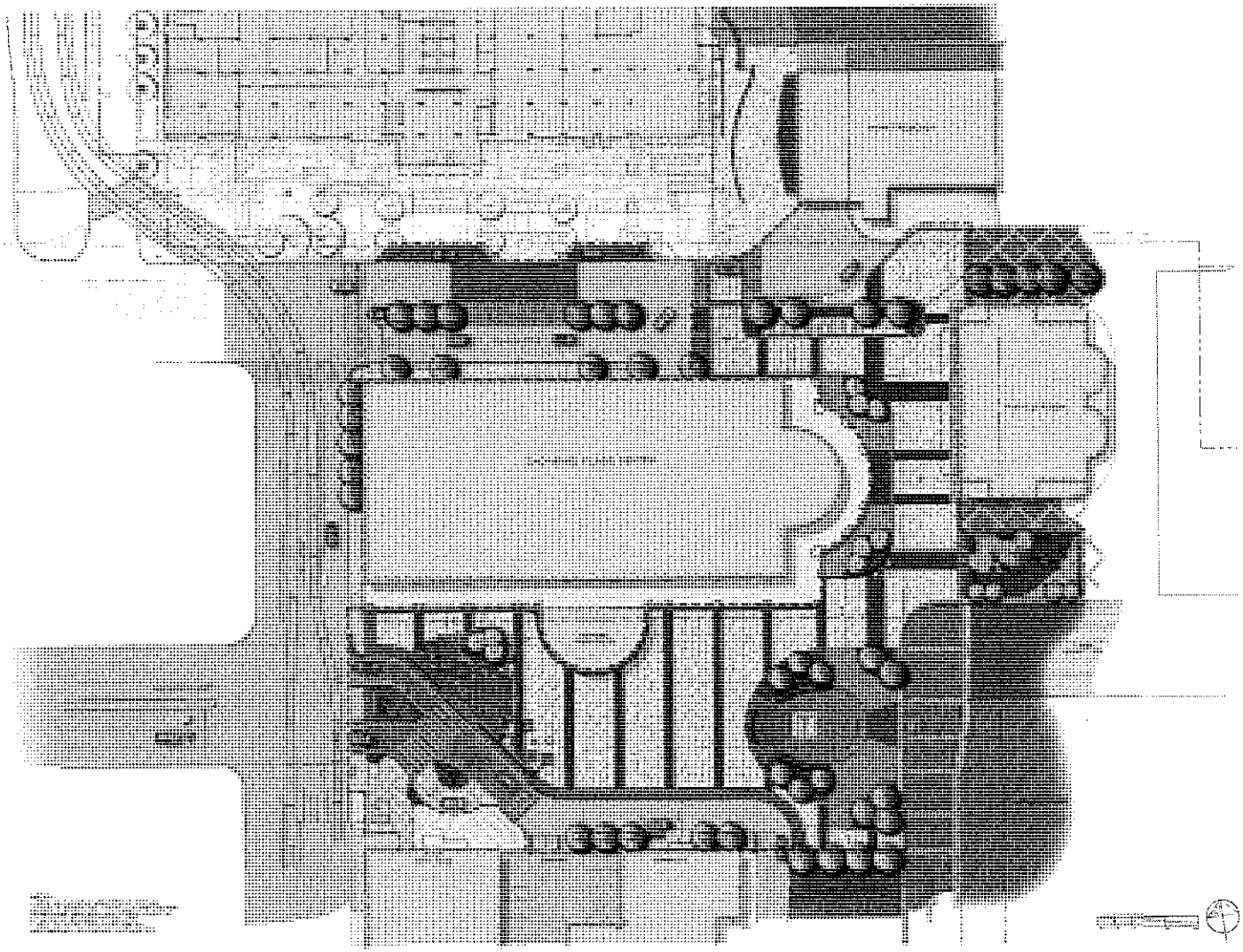
- The design as proposed supports the design guidelines of the Jersey City Master Plan Open Space Element as specific to Waterfront Parks.
  - Waterfront Parks Design Guidelines:
    A. Support Active Lifestyles
    The new design maintains contiguous public access to the river while expanding programming with the addition of a new playground at the waterfront.
    B. Make Parks Welcoming
    The curbless design maintains universally accessible access throughout the plaza space and improves pedestrian and bicycle safety through striped, designated crossings between the plaza and the adjacent HBLR station and PATH entrances
    C. Understand Community Needs
    The plaza redesign has given large consideration to the space's historic use as a host site for several benchmark community events and festivals, such as the City's 4th of July celebration. The design maintains a flexible arrangement to enable Office of Cultural Affairs and community organizations/associations to utilize the site for temporary events in a flexible manner.
    D. Highlight Unique Features
    The design maintains pedestrian and bicycle access and views to the Hudson River Waterfront Walkway, the river itself, and the Owen Grundy Pier.

- The plan as proposed is consistent with goals of the JC Walks Pedestrian Enhancement Plan
  - Policy Recommendations: (relevant to the plaza entrances at Columbus Drive and Hudson St + Montgomery St)
    3. Crosswalk Markings and Maintenance
    All legs of signalized intersections should be marked
    4. ADA depressed curbs
    Upgrade all crossings with ADA compliant design
  - Program Recommendations: (relevant to the proposed designated hotel drop off zone)
    3. Curbside Management
    1. Implement current best-practice design treatments
    2. Develop a shared mobility curbside management policy including
    g. car sharing spaces
    h. ride hailing pick-up/drop-off zones
    3. Curbside Management would provide clear guidance for businesses, property owners, and Special Improvement Districts (SIDS) who would like to request appropriate alternative curbside uses

- The plan as proposed is consistent with goals of the JC Vision Zero Action Plan
  - Design Safer Streets
    >> Provide a permanent, 24/7 solution to dangerous, excessive and intimidating speeds
    >> Better manage limited public space available to accommodate all users as well as parking, deliveries, and emergency services
    >> Eliminate uncertainty as to how drivers, pedestrians, and people on bikes should interact, especially at intersections
    >> Encourage people to walk, bike, and take transit to reduce the amount of vehice miles travelled
    +Action items 1.5, 1.7, 1.8, 1.10 advanced

- Promote a Culture of Safety
  >>Elevate the importance of safety over increasing the speed and convenience of driving
  >> Welcome walking, biking, and transit use as essential everyday transportation modes
  +Actions 2.14, 2.17 advanced

Exhibit B



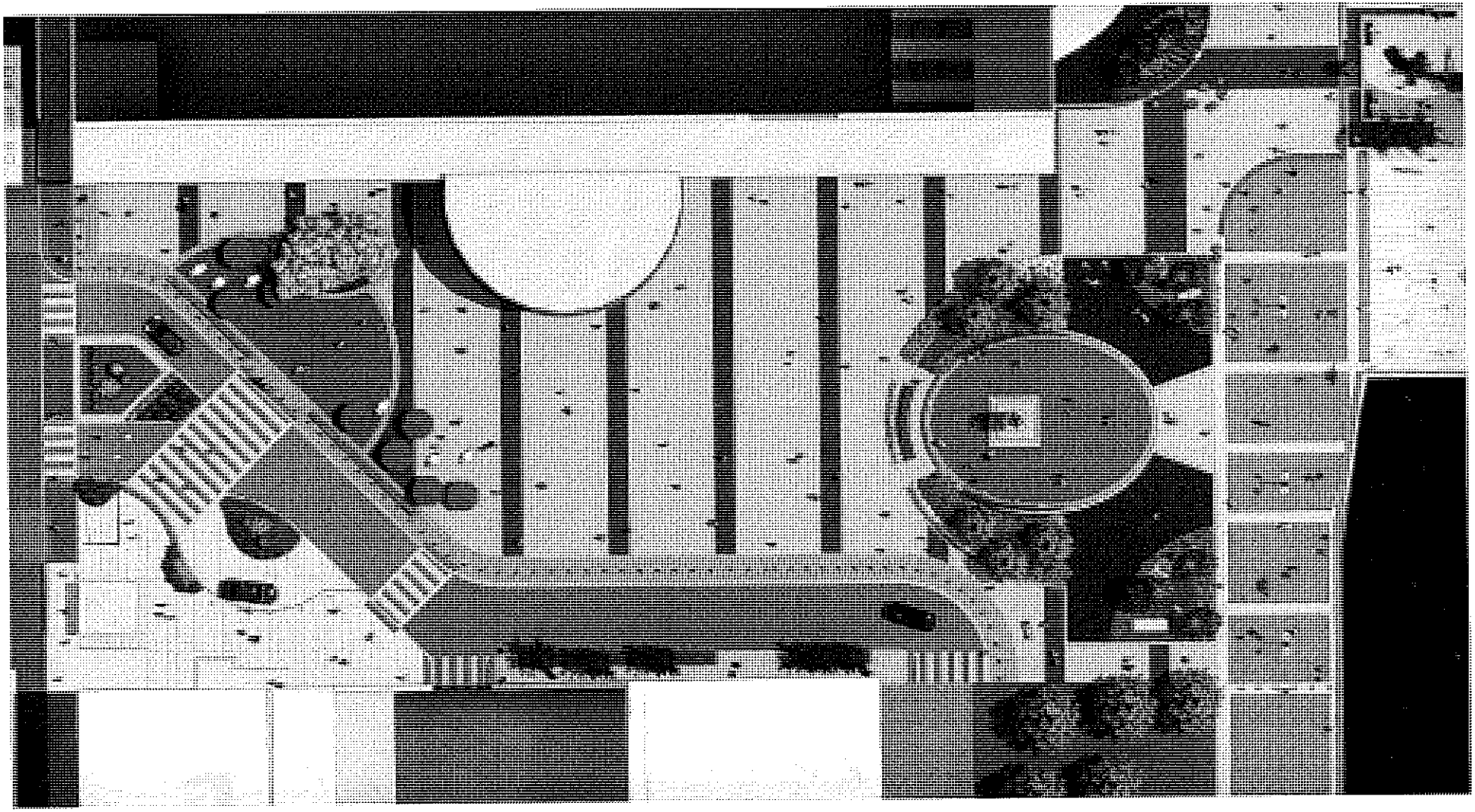
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

ILLUSTRATIVE LANDSCAPE PLAN

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02



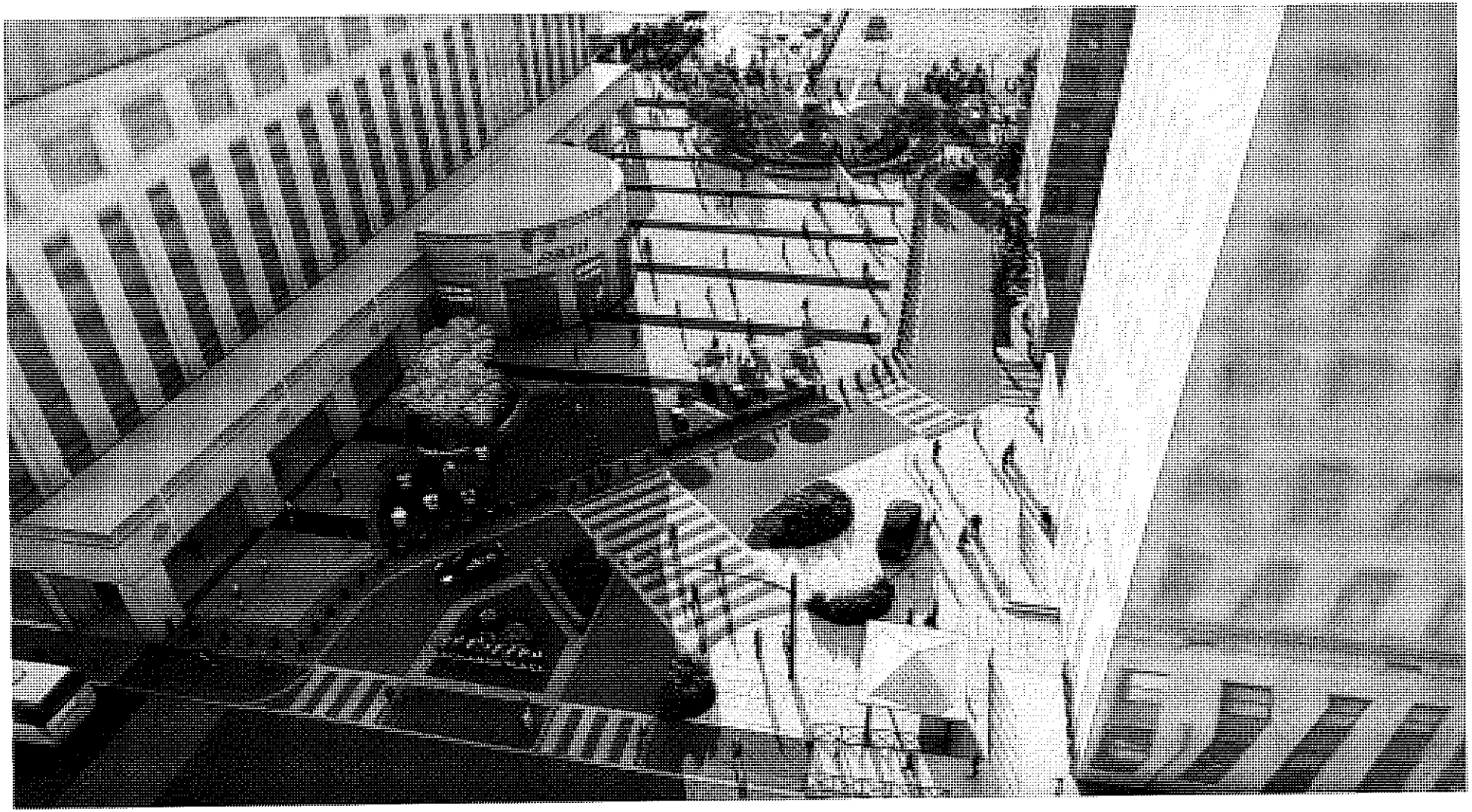
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #1: PLAN

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02



MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #2 : OVERVIEW LOOKING EAST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02

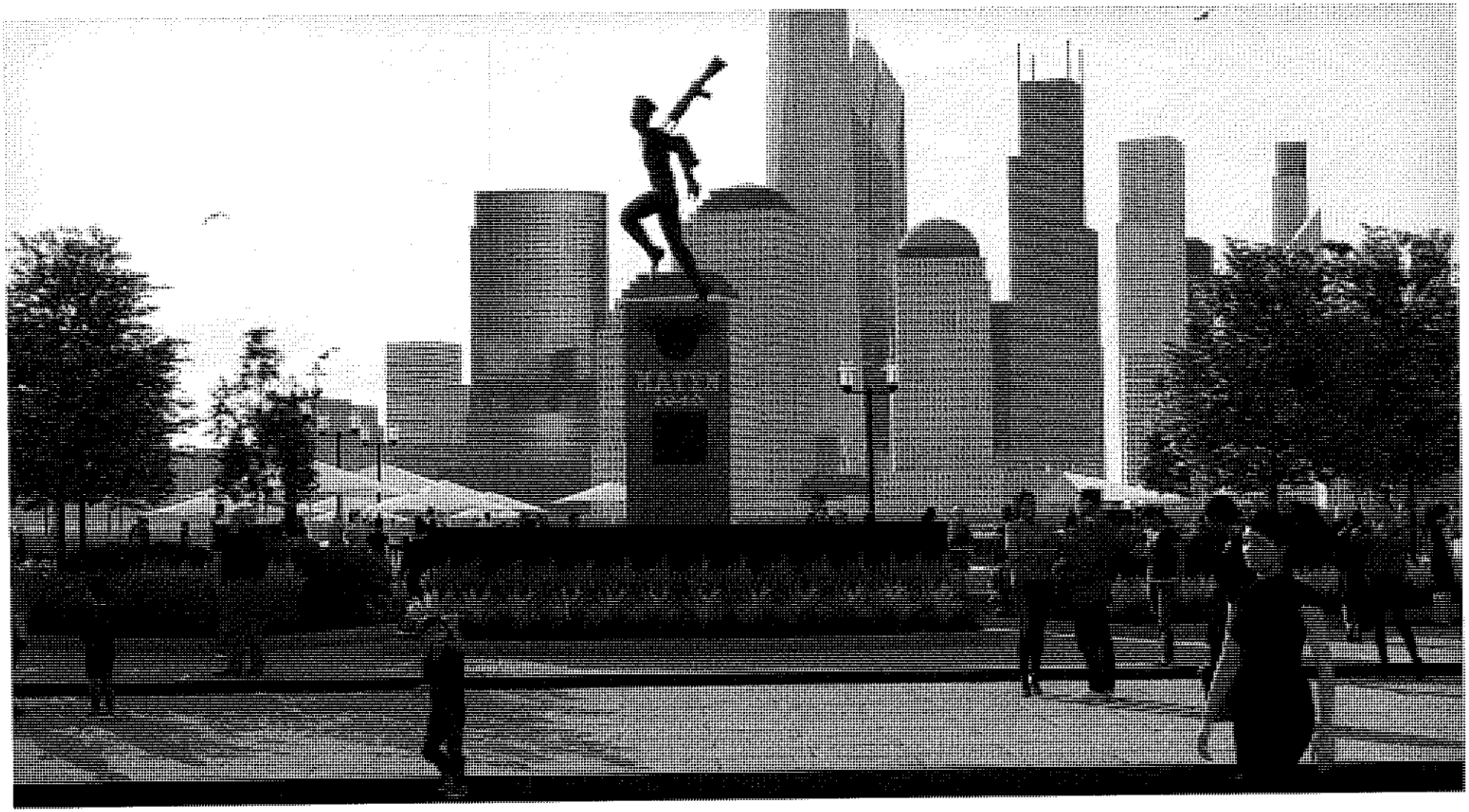
MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

VIEW #3: CAFE PLAZA LOOKING EAST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02



MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #4: VIEW EAST OF KATYN MONUMENT FROM PLAZA

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02

MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

VIEW #5: VIEW NORTHEAST OF KATYN MONUMENT ENTRANCE FROM PLAZA

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02

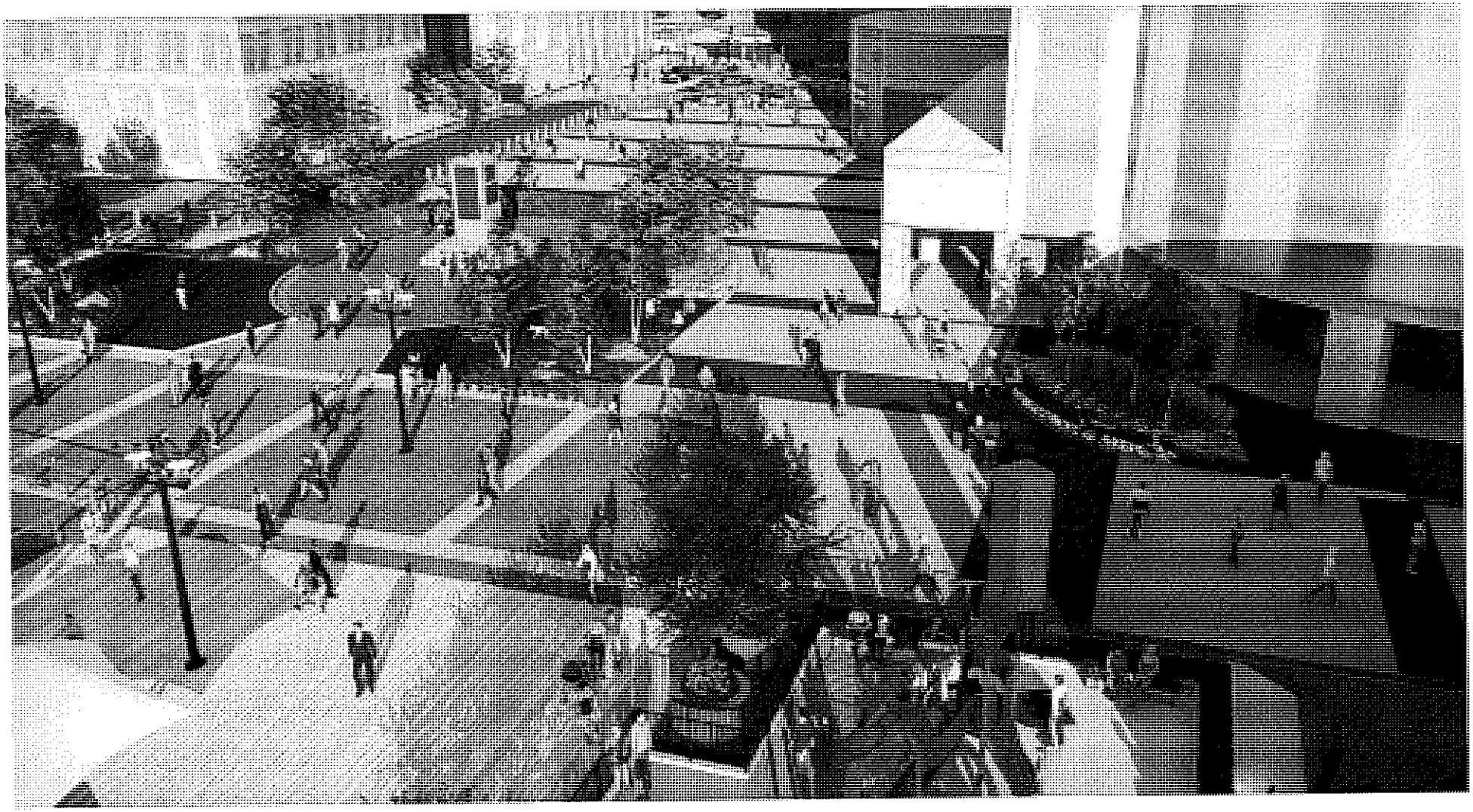
MBC
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #6: VIEW WEST OF PLAZA FROM WATERFRONT ESPLANDE WALKWAY

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02



MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

VIEW #7: OVERVIEW FROM PLAYGROUND LOOKING WEST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.11.02

Exhibit C

static1.squarespace.com/static/62609f164536914f07549b10/t/63867b1e3522281a4ecbcac1/1669757737612/FWSU+2022-11-02_MBC_Landscape_ExchangePlace_GraphicsPackage.pdf

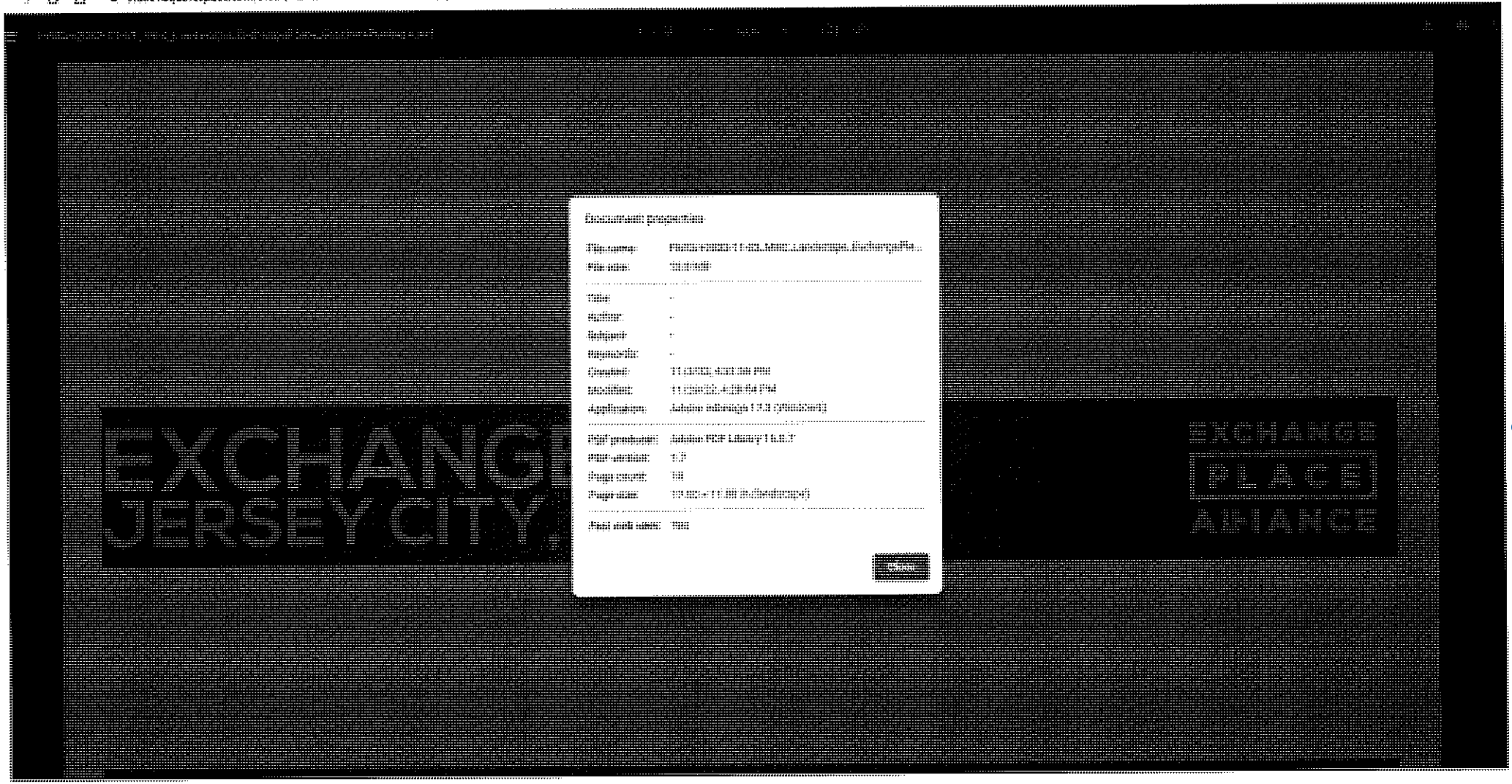


Exhibit D

PRELIMNARY/FINAL SITE PLAN

EXCHANGE PLACE IMPROVEMENTS

LOT 2, BLOCK 11604 AND EXCHANGE PLACE (PUBLIC R.O.W.)

CITY OF JERSEY CITY, COUNTY OF HUDSON, NEW JERSEY 07302

DRESDNER ROBIN

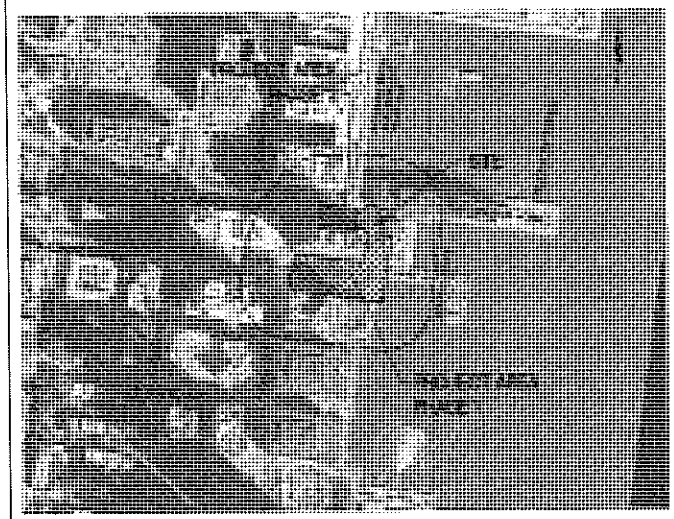
DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EXCHANGE PLACE, SUITE 901, JERSEY CITY, NJ 07311
TEL: 201.217.9200 • FAX: 201.217.9202
WWW.DRESDNERROBIN.COM • 29647-00-00

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

ABBREVIATIONS

ACP	ASBESTOS CEMENT PIPE
BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
BLDG	BUILDING
BLK	BLOCK
BM	BENCHMARK
BML	BOLLARD
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
DC	DECORATIVE CURB
DIP	DUCTILE IRON PIPE
DW	DRIVEWAY
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
FWPM	FIREWING
FC	FLUSH CURB
HDC	HIGH DENSITY CONNECTION
FFE	FINISHED FLOOR ELEVATION
FF	FINISHED FLOOR
FND	FOUND
FT	FEET
GRATE	GRATE
GAR	GARAGE
GF	GARAGE FLOOR
GR	GRADE
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
IP	IRON PIPE
LP	LIGHT POLE
MH	MANHOLE
MW	MONITORING WELL
NC	NON CONFORMING
OCS	OUTLET CONTROL STRUCTURE
OHW	OVERHEAD WIRE
PVMT	PAVEMENT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PUB	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVE
PROP	PROPOSED
PVI	POINT OF VERTICAL INTERSECTION
PV	POINT OF VIEW
PT	POINT OF TANGENT
PVC	POINT OF VERTICAL CURVATURE
PVT	POINT OF VERTICAL TANGENCY
RCP	REINFORCED CONCRETE PIPE
RT	RIGHT
RD	ROOF DRAIN
SW	SIDEWALK
SIP	SLIP SLEEVE TIP
SVA	SOLAR VAULT
SV	SOLAR VALVE
SPIT	SPOT AND PENCIL
STEEL	STEEL BASE PLATE
SLAB	SLOPE
STMP	STAMP
STRT	STREET
SWM	SWIM POOL
TBC	TELEVISION
TC	TOP OF CURB
TL	TRAFFIC LIGHT
TW	TOP OF WALL
TYP	TYPICAL
UC	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
WF	WOOD FLOOR
WV	WATER VALVE

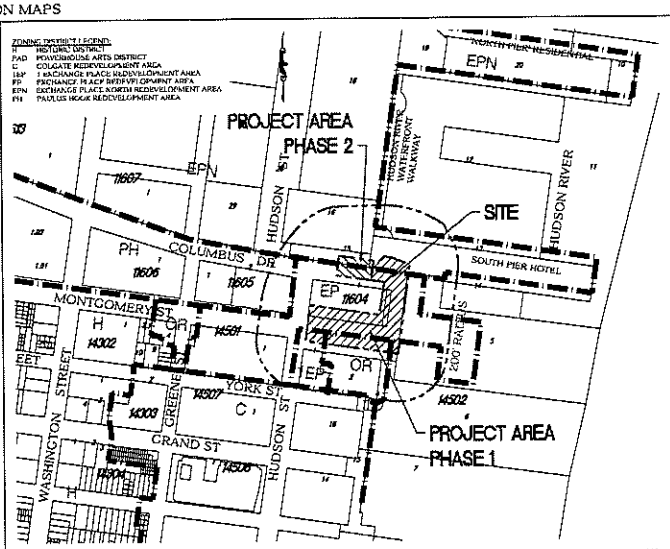
LOCATION MAPS



KEY MAP

NJ COORD. SYS. (NAD83/91) IN THE HUDSON COUNTY DATUM OF GEOGRAPHIC INFORMATION SYSTEM (GIS)

SCALE: 1"=200'



AREA MAP

LATITUDE: 40.718 N LONGITUDE: -74.033 W

SCALE: 1"=200'

PROJECT CONTACTS

OWNER
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302
PHONE: (201) 547-5000

APPLICANT
EXCHANGE PLACE ALLIANCE
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311
PHONE: (201) 814-4200

PROGRAM MANAGER
SJP PROPERTIES
99 GREEN STREET
JERSEY CITY, NJ 07302
PHONE: 333-1123

CIVIL ENGINEER
DRESDNER ROBIN, SUITE 901
1 EXCHANGE PLAZA
JERSEY CITY, NJ 07302
PHONE: (201) 217-9200

LANDSCAPE ARCHITECT
MELILLO + BAKER ASSOCIATES
200 GRAND AVENUE
DELELLE, NEW JERSEY 07730
PHONE: (732) 528-6464

GEOTECHNICAL ENGINEER
MILLER BUTLEDGE CONSULTING ENGINEERS
24 ROAR PLAZA
223 WEST 34TH STREET
NEW YORK, NY 10122
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STRUCTURAL ENGINEER
THORNTON TOMASETTI
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MECHANICAL AND PLUMBING
MGE UNITED TECHNOLOGIES CORP.
116 WEST 32ND STREET
NEW YORK, NY 10001
PHONE: (212) 641-9055

LIGHTING CONSULTANTS
BEAM LTD
428 WEST WAVERLY ROAD
GLENSIDE, PA. 19038
PHONE: (215) 208-0900

ENVIRONMENTAL GRAPHICS
LEVERAGE DESIGN GROUP
PHONE: (617) 970 7193

GENERAL NOTES

1. [illegible]

2. [illegible]

3. [illegible]

4. [illegible]

5. [illegible]

6. [illegible]

7. [illegible]

8. [illegible]

9. [illegible]

10. [illegible]

EXCHANGE PLACE ALLIANCE

HARBORSIDE 2 - 200 HUDSON STREET - SUITE 801 JERSEY CITY, NJ 07311

BOARD OF DIRECTORS

MICHAEL J. DEMARCO
PRESIDENT
MACK-CALI

JOYCE WATTERMAN
CITY COUNCIL REPRESENTATIVE

RICARDO CARDOSA
MACK-CALI

GUS MILANO
HARTZ MOUNTAIN

STEVE POZYCKI
SJP PROPERTIES

ANDY SIEGEL
HISTORIC PAULUS HOOK ASSOCIATION

JEREMY FARRELL
LEFRAK

STAFF

ELIZABETH CAIN
EXECUTIVE DIRECTOR

MARTIN SCHMID
ECONOMIC DEVELOPMENT MANAGER

ZONING TABLE

SITE STATISTICS

EXCHANGE PLACE R.O.W. AND PORTIONS OF LOT 2 OF BLOCK 11604

Site Statistics	PROVIDED
Principal Use	Urban park
Accessory Uses	Access drive, sidewalks, lawn areas, hard areas, playground, etc
Site Area	1.77 acres
Site Coverage	74.0%
Signage	One (1) monument sign, wayfinding signage
Lighting/Lighting	See lighting/lighting plans

SHEET INDEX

SHEET NUMBER	SHEET NAME	DATE	PREPARED BY
1	COVER SHEET	02-24-2023	DRESDNER ROBIN
2	C-100	02-24-2023	DRESDNER ROBIN
3	C-101	02-24-2023	DRESDNER ROBIN
4	C-400	02-24-2023	DRESDNER ROBIN
5	C-401	02-24-2023	DRESDNER ROBIN
6	C-402	02-24-2023	DRESDNER ROBIN
7	C-500	02-24-2023	DRESDNER ROBIN
8	C-501	02-24-2023	DRESDNER ROBIN
9	C-502	02-24-2023	DRESDNER ROBIN

CERTIFICATIONS

CITY OF JERSEY CITY

APPROVED BY THE PLANNING BOARD OF THE CITY OF JERSEY CITY AT A MEETING HELD ON THE _____ DAY OF _____, 20__

CHAIRMAN DATE

SECRETARY DATE

CITY ENGINEER DATE

AGENCY CONTACTS

JERSEY CITY DIVISION OF CITY PLANNING
TANYA MARSHALL, AICP, PP
DIRECTOR
1 JACKSON SQUARE
JERSEY CITY, NJ 07305
PHONE: 201.547.3015

JERSEY CITY DIVISION OF ENGINEERING
PAUL HUDAK, P.E.
CITY ENGINEER
13-15 LINDEN AVENUE EAST
JERSEY CITY, NJ 07305
PHONE: 201.547.4481

HUDSON COUNTY DIVISION OF PLANNING
FRANCESCA GUARATANA, DIRECTOR
BERGEN SQUARE CENTER
830 BERGEN AVENUE, SUITE 6A
JERSEY CITY, NJ 07306
PHONE: 201.217.5337

ELECTRIC AND GAS UTILITY CARRIER
PUBLIC SERVICE ELECTRIC & GAS CO. (PSE&G)
JOHN GNIADZIOSKI
325 COUNTY AVENUE
SECAUCUS, NJ 07094
PHONE: 201.330.2329

TELEPHONE AND BROADBAND
VERIZON COMMUNICATIONS
ED SANCHEZ
540 BROAD STREET
NEWARK, NJ 07102

CABLE AND BROADBAND
COMCAST OF JERSEY CITY
KEVIN DAVIS
2121 KENNEDY BOULEVARD,
JERSEY CITY, NJ 07305
PHONE: 201.216.2010

WATER AND SEWER UTILITY AUTHORITY
JERSEY CITY MUNICIPAL UTILITIES AUTHORITY
RICHARD HAYTAS, CHIEF ENGINEER
13-15 LINDEN AVENUE EAST
JERSEY CITY, NJ 07305
PHONE: 201.432.2130

WATER SUPPLY
GUICE JERSEY CITY
JOSEPH SENGALE
60 DUKES PLACE
MACKTSADICK, NJ 07601
PHONE: 334-0409

SEWAGE TREATMENT
PASSAIC VALLEY SEWERAGE COMMISSION
FRANK GRANT
600 WILSON AVENUE
NEWARK, NJ 07105
PHONE: 973.344.4218

REVISIONS

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

Digitally signed by Matthew Neuls
Date: 2023.02.24 12:11:44-05'00'

MATTHEW J. NEULS
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER 24GE04111400

SHEET TITLE:
COVER SHEET

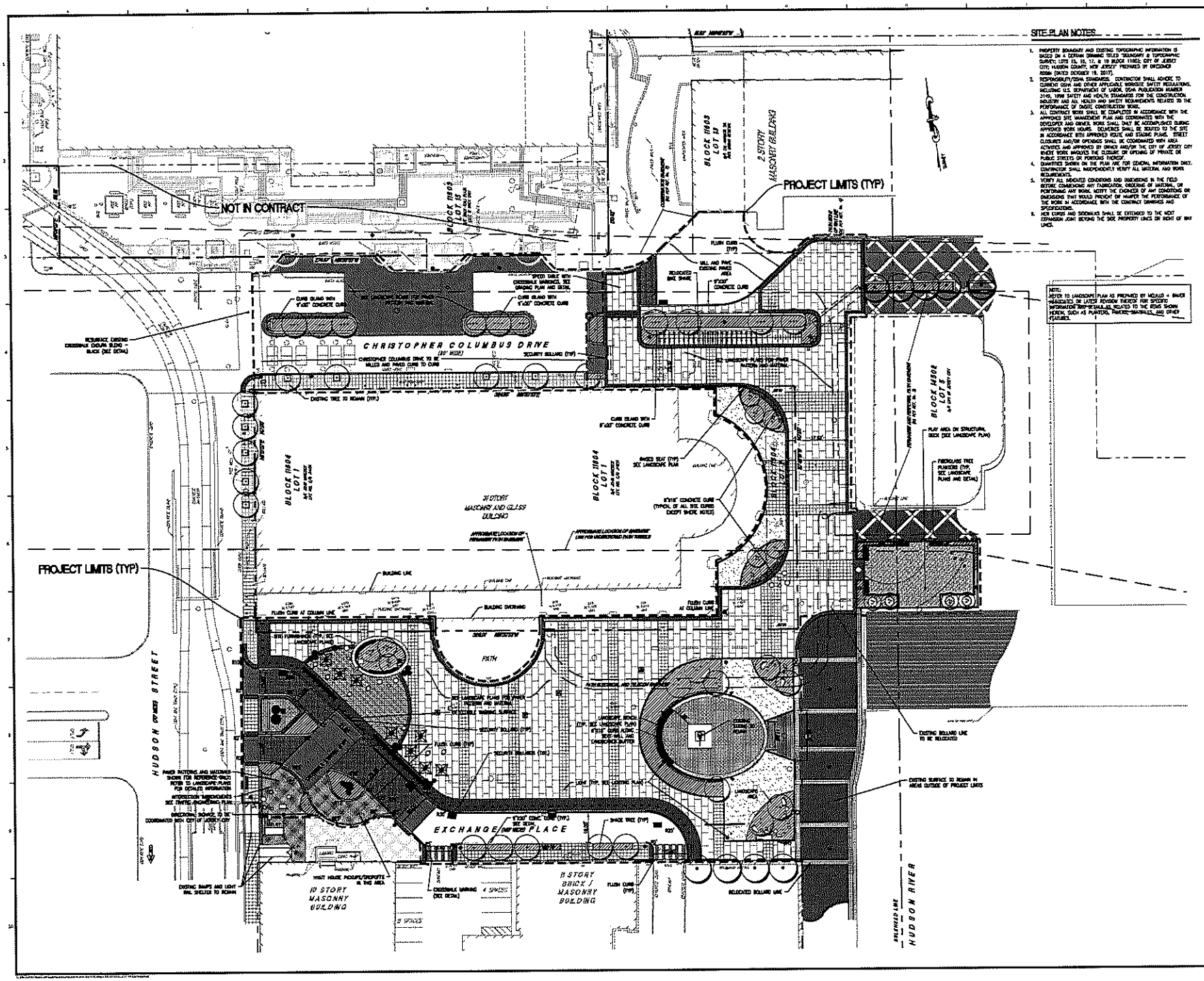
PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

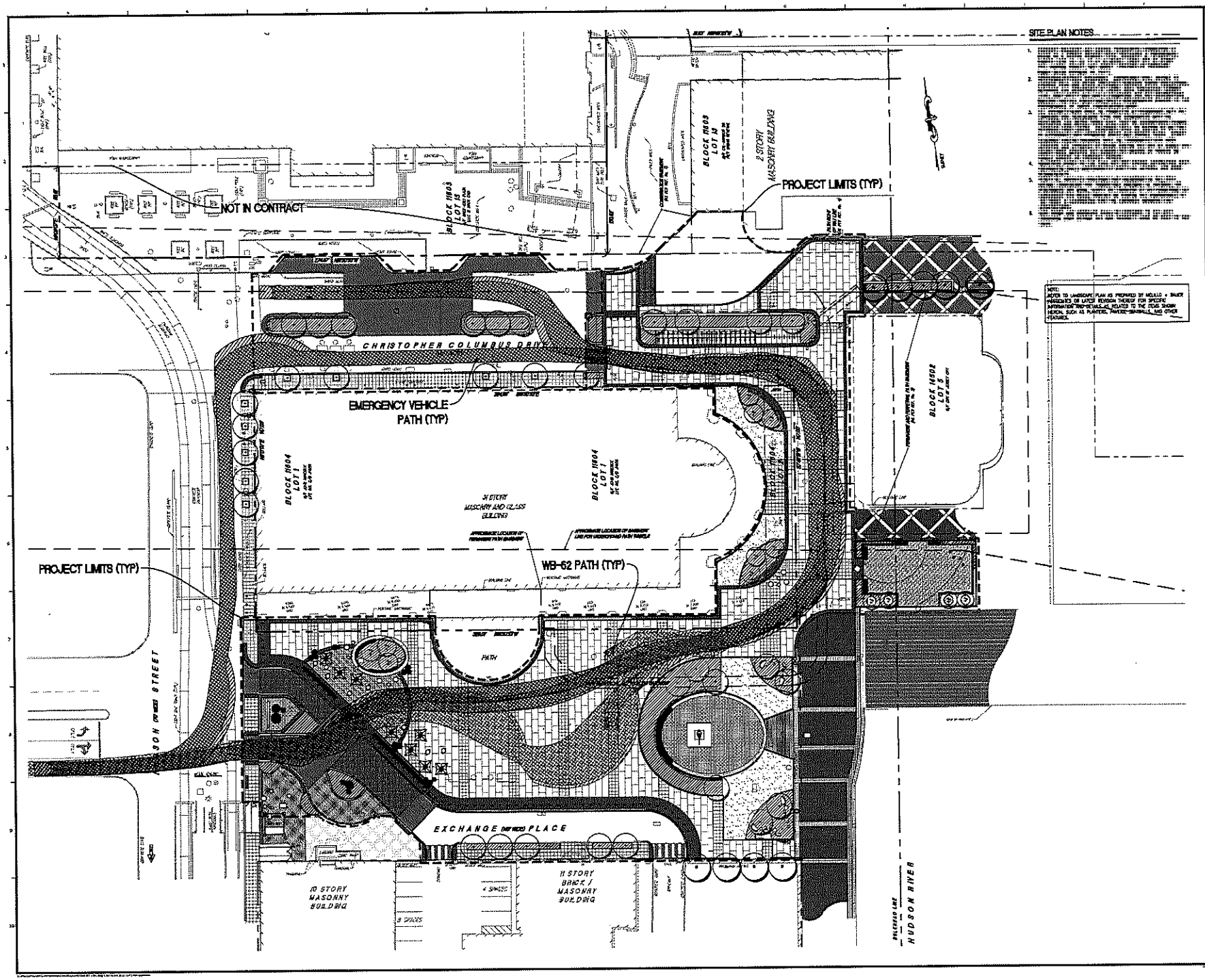
LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:
AS NOTED

DRAWN BY	CHECKED BY	APPROVED BY
CW	MRM	
DATE	REV. DATE	SHEET NUMBER
	06-14-2022	G-001
JOB NO.		SHEET 01 OF 08
10491-000		

THIS SITE PLAN APPROVAL ONLY — NOT FOR CONSTRUCTION





DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EXCHANGE PLACE, SUITE 801 JERSEY CITY, NJ 07302
TEL: 201.217.8200 FAX: 201.217.9607
CERTIFICATE OF AUTHORIZATION: 24GA28036400

JERSEY CITY • HACKENSACK • ASBURY PARK • CHERRY HILL

REVISIONS:

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS

DRAWING TITLE:
VEHICLE MANEUVERING PLAN

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

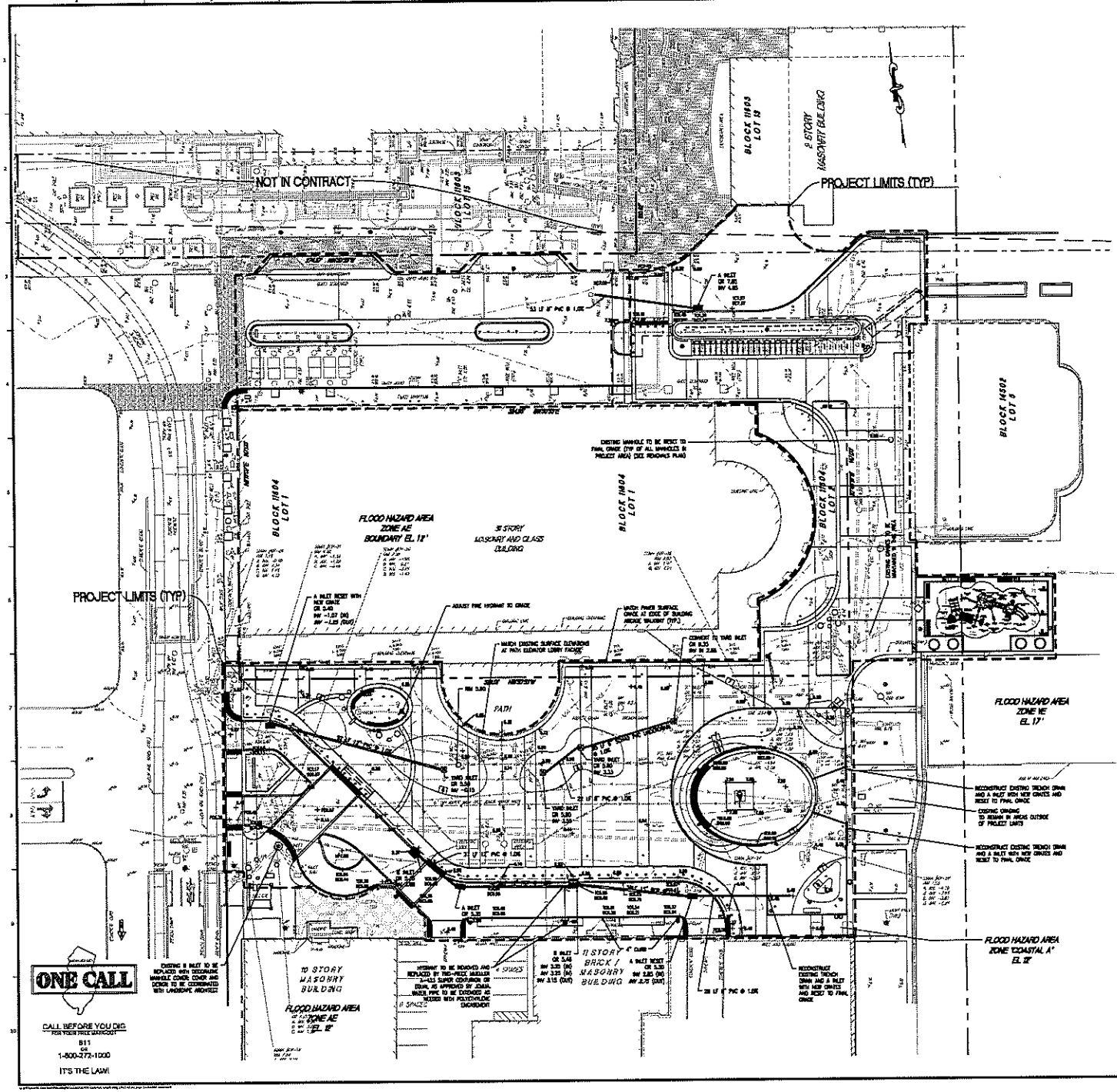
LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE: 1"=20'

DRAWN BY: CM/GRB | CHECKED BY: MJN | SCALE: 1"=20' | DATE: 06-14-2022 | C-311

JOB NO. 1049-006 SHEET 03 OF 08

THIS SITE PLAN SHOWN ONLY - NOT FOR CONSTRUCTION



GRADING, DRAINAGE AND UTILITIES PLAN NOTES

DRESDNER ROBIN

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TEL: 201.217.9200 FAX: 201.217.9201
WWW.DRESDNERROBIN.COM/ENVIRONMENTAL
JERSEY CITY • MIDTOWN • ASBURY PARK • CHERRY HILL

REVISIONS

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

Digitally signed by Matthew Neuls
Date: 2022.04.14 12:11:11 -04'00'

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
LICENSE NUMBER 24GE04311300

DRAWING TITLE:
GRADING, DRAINAGE AND UTILITY PLAN

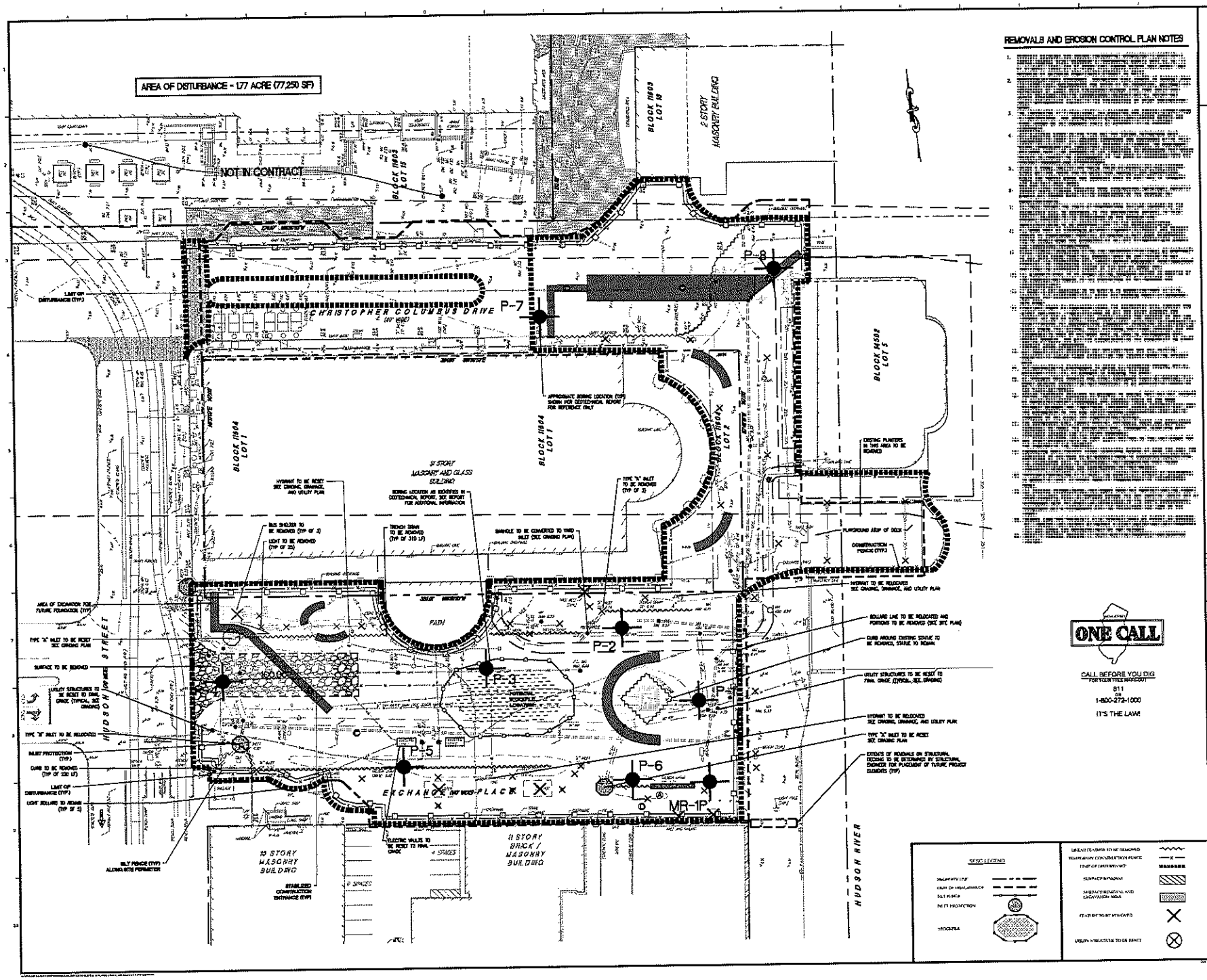
PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE: 1"=20'

DRAWN BY: CW/GRG
CHECKED BY: MJN
SCALE: 1"=20'
DATE: 04-14-2022
DRAWING NUMBER: C-401
JOB NO: 10491-006
SHEET 04 OF 08

DO NOT PLOT WITHOUT ONLY - NOT FOR CONSTRUCTION



REMOVALS AND EROSION CONTROL PLAN NOTES

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ONE CALL

CALL BEFORE YOU DIG
FOR YOUR FREE MARKOUT
811
OR
1-800-272-1000
IT'S THE LAW!

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 LIVINGSTON PLAZA, SUITE 301, HOBOKEN, NJ 07030
TEL: 201.217.9100 FAX: 201.217.9101
NJ CERTIFICATE OF AUTHORIZATION: 24GA27960600

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NO.	DATE	DESCRIPTION	BY
		REVISIONS	

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS

DRAWING TITLE:
REMOVALS, EROSION, AND SEDIMENT CONTROL PLAN

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE: 20 10 0 20
SCALE: 1"=20'

DRAWN BY	CHECKED BY	DRAWING NUMBER
CM/GMG	MJN	C-801
SCALE 1"=20'	DATE 04-14-2022	
PROJECT NUMBER 10491-006		SHEET 05 OF 08

FOR SITE PLAN APPROVAL ONLY - NOT FOR CONSTRUCTION

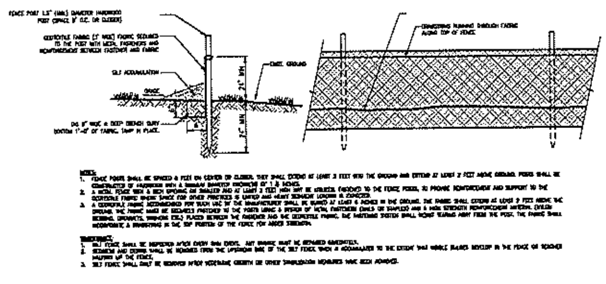
HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT – SOIL EROSION AND SEDIMENT CONTROL NOTES

Revised: [illegible] 2017

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. [illegible]
2. [illegible]
3. SEEDING DATES. THE FOLLOWING SEEDING DATES ARE BEST RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER [illegible]
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. [illegible]
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE REPAIRED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. [illegible]
9. [illegible]
10. [illegible]
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. [illegible]
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING PAD IS TO BE INSTALLED AT ALL SITE EXITS [illegible]
14. STEEP SLOPES [illegible]
15. [illegible]

SEQUENCE OF CONSTRUCTION

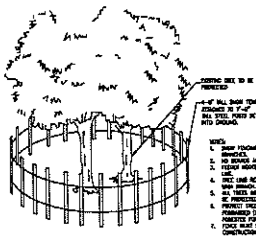
SEQUENCE OF CONSTRUCTION	DURATION
1. CONTACT THE COUNTY SOIL CONSERVATION DISTRICT, IN WRITING, 72 HOURS PRIOR TO ANY LAND DISTURBANCE.	3 DAYS
2. INSTALL SILT FENCE AND INLET PROTECTION.	1 WEEK
3. REMOVE EXISTING FEATURES TO CONSTRUCT IMPROVEMENTS.	1 MONTHS
4. INSTALL UNDERGROUND UTILITIES	3 MONTHS
5. INSTALL LIGHTING AND LANDSCAPING.	4 MONTHS
6. REMOVE THE SOIL EROSION MEASURES AND STABILIZE THE ENTIRE SITE.	1 WEEK
7. CONTACT THE COUNTY SOIL CONSERVATION DISTRICT TO SCHEDULE AN INSPECTION AND OBTAIN A REPORT OF COMPLIANCE.	3 DAYS



NOTES:
1. [illegible]
2. [illegible]
3. [illegible]

MAINTENANCE:
1. [illegible]
2. [illegible]
3. [illegible]

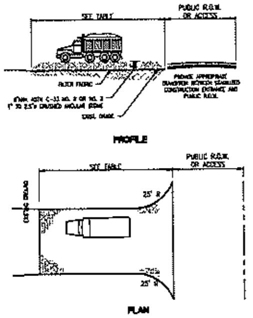
SILT FENCE



NOTES:
1. [illegible]

TREE PROTECTION

TREE LIMB REMOVAL

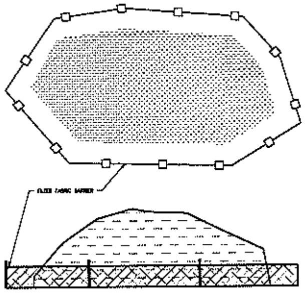


STABILIZED CONSTRUCTION ACCESS

LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

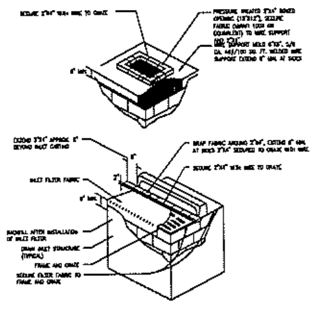
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
>5%	ENTIRE SURFACE STABILIZED WITH FABC WITH ASPHALT BASE COURSE, MIX I-5	

NOTES:
1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]



NOTE: [illegible]

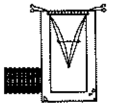
STOCKPILE



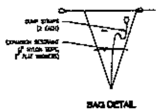
NOTES:
1. [illegible]
2. [illegible]
3. [illegible]

INLET FILTER BARRIER PROTECTION

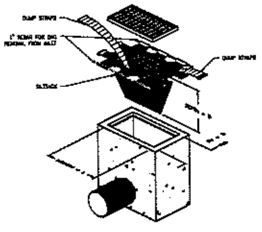
SOIL COMPACTION EXEMPTION NOTE:
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".



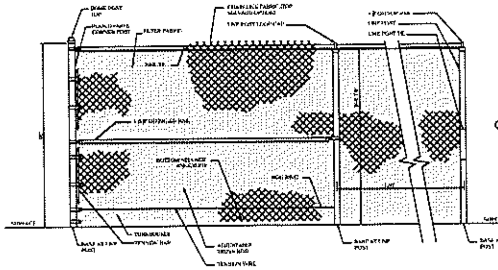
INSTALLATION DETAIL



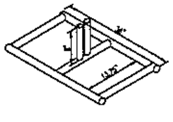
BAG DETAIL



INLET PROTECTION



TEMPORARY CONSTRUCTION FENCE



BASE

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
[illegible] PLAZA, SUITE [illegible], JERSEY CITY, NJ 07302
JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

REVISIONS:

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

Matthew J. Neuls
MATTHEW J. NEULS
PROFESSIONAL ENGINEER

DRAWING TITLE:
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

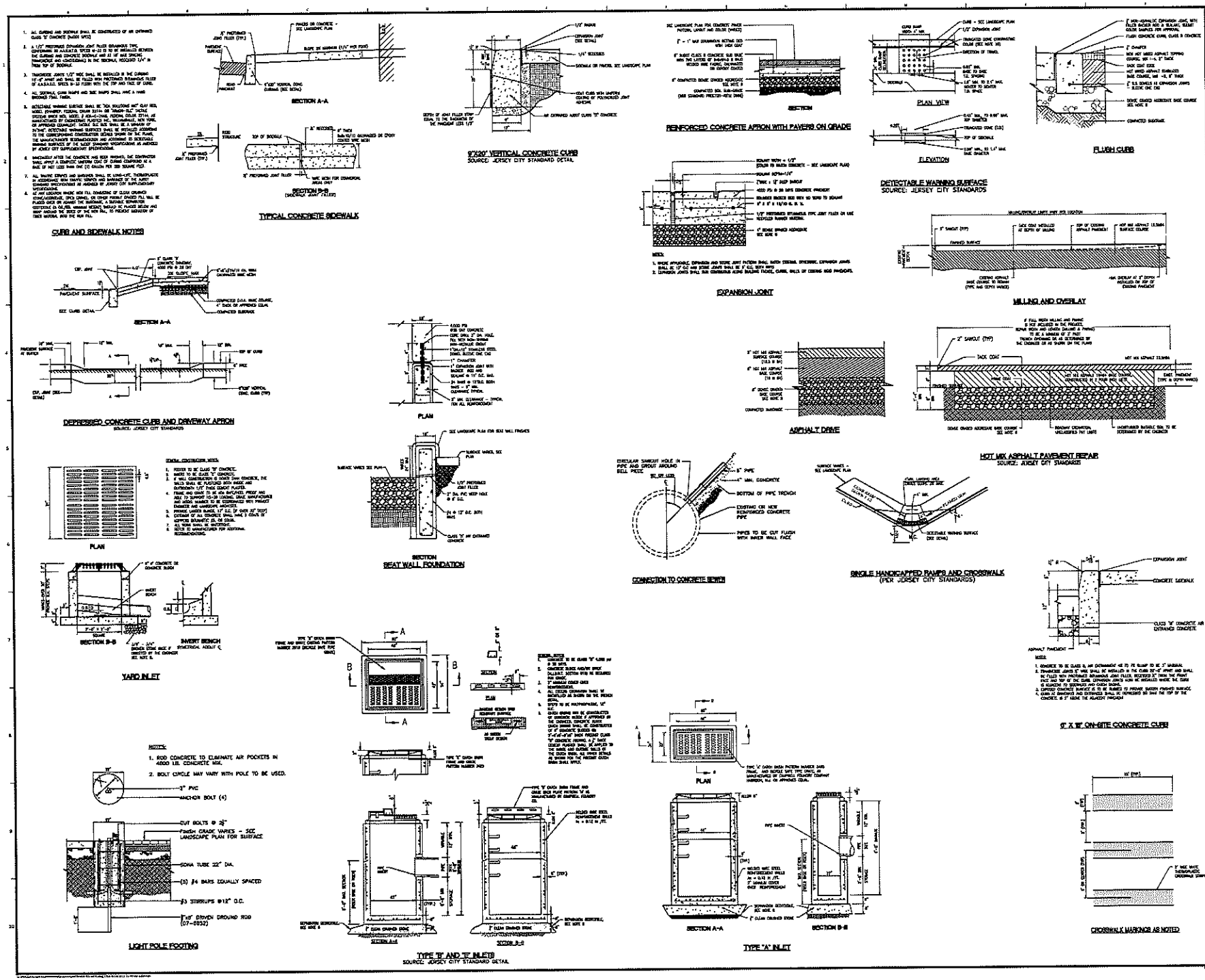
PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:

CW/GRG	MJN	C-802
NTS	04-14-2022	
10491-006	SHEET 06 OF 08	

FOR SITE PLAN APPROVAL ONLY - NOT FOR CONSTRUCTION



DRESDNER ROBIN

CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS

CONSTRUCTION DETAILS I

EXCHANGE PLACE PLAZA IMPROVEMENTS

EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

C-901

10451-006

SHEET 07 OF 08

NOT FOR PLAN APPROVAL ONLY - NOT FOR CONSTRUCTION

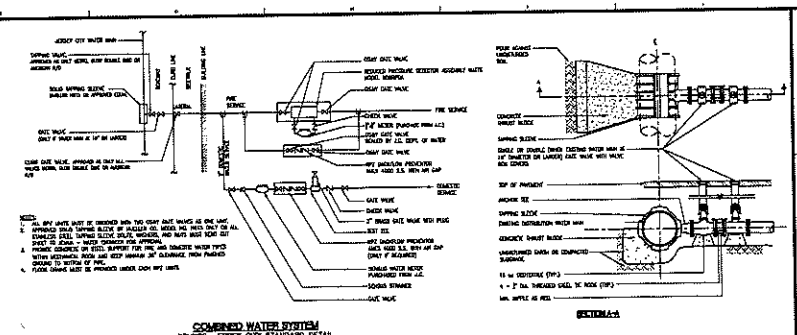
WATER CONSTRUCTION SYSTEM STANDARDS

1. WATER MAINS SHALL BE PER CLASS 350, CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH AWWA, STANDARD A21.5-1970 (AWWA C151-76)
2. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL (FOR TEST NOTES TO USE #13).
3. GATE VALVE SHALL BE IN CONFORMANCE WITH AWWA/AWWA STANDARD DOUBLE DISC GATE VALVES OF CLOSE ENDS OR AN APPROVED EQUAL CLASS-150 AND SHALL BE JERSEY CITY STANDARD VALVES. MAIN MONITORING SYSTEM MECHANICAL JOINT VALVES AS MANUFACTURED BY ENGINEER COMPANY OR APPROVED EQUAL. VALVES SHALL BE NON-RISING STEM, RESILIENT WEDGE, JOINT SHALL BE FURNISHED WITH A 2" SQUARE OPERATING NUT SHALL OPEN IN TURNING TO THE RIGHT. GATE VALVES (3"-24") AND OVER SHALL BE FURNISHED WITH 24-INCH VALVE BOXES BE 1000 SOLID HIGH GRADE STEEL COVERED VOLUME-FREE IN THE SHADOWS.
4. BUTTERFLY VALVES SHALL BE IN CONFORMANCE WITH AWWA/AWWA STANDARD C504-80. BUTTERFLY VALVES SHALL BE CLASS 150B, MECHANICAL JOINT, NON-RISING STEM MOUNTED ON THE DISC. SHALL BE FURNISHED WITH A 2" SQUARE OPERATING NUT AND SHALL OPEN BY TURNING TO THE RIGHT. THE VALVE SHALL BE 100% SOLID HIGH GRADE CAST COATED VOLUME-FREE IN THE SHADOWS.
5. VALVES BOXES SHALL BE JERSEY CITY "STANDARD" AS MANUFACTURED BY BRADLEY AND BOSTON, OR APPROVED EQUAL. BOXES SHALL HAVE A MINIMUM OF 5-1/2" INCH DIAMETER AND SHALL BE AN ADJUSTABLE SCREW TYPE WITH THE BOX EXTENDING FROM THE SURFACE TO 6/7 INCHES ABOVE THE VALVE BONNET RING. VALVE BOX SHALL BE CAST IRON WITH A STANDARD CAST IRON FOUNDRY OR IRON CAST IRON WATER SHOP STAMPS AND THE WORD "WATER" CAST IN COVER. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE EXISTING GRADE ELEVATION.
6. CONNECTION FOR VALVE BOXES AND THRUST BLOCKS SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3000 PSI.
7. SELECT GRANULAR BACKFILL MATERIAL SHALL BE FOR NORMALLY TYPE I-6 (PROVIDE FILL, ELIGIN SAND, GRAVEL OR STONE) OBTAINED FROM DRY SOURCES AND SHALL BE FREE FROM STUMPS, BRUSH, WEEDS, ROOTS, RUBBISH, WOOD AND GRASS MATERIAL THAT MAY DECAY. EXCAVATION SHALL CONFORM TO SUBLET 401-1, FOR TYPE I-6 IN ARTICLE 501.03 OF THE (N.J.D.O.T.) JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN 12 INCHES (12") INCH LIFTS.
8. ALL WORK SHALL BE PERFORMED IN TRENCHES WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DECIDED THE SOIL CONDITIONS METHODS. ENGINEER STONE SHALL CONFORM TO ARTICLE 501.03 OF THE STANDARD SPECIFICATIONS AS COMPLETELY ANSWERED. THE SIZE OF ENGINEER STONE SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2, 1, 1, 4, OR 5 AS SHOWN IN TABLE 501-1, STANDARD SIZES OF COARSE AGGREGATES OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
9. FALSE BLOCK SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DECIDED THE SOIL CONDITIONS METHODS.
10. AFTER THE CONTRACTOR HAS COMPLETED THE COMPLETED INSTALLATION OF VALVES, AND WATER MAIN, AND BEFORE DISCHARGING THE CHLORINATED, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESSURE TEST THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5 X THE WORKING PRESSURE FOR A PERIOD OF TWO (2) HOURS. THERE SHALL BE MATERIALS AND EQUIPMENT REQUIRED TO PRESSURIZE. SEE THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5 X THE WORKING PRESSURE FOR A PERIOD OF TWO (2) HOURS. THERE SHALL BE NO PRESSURE DROP IN ANY INSTALLATION. THE VALVED SECTION OF PIPE SHALL BE FILLED PRESSURIZED. BLOWS, AND THE TEST PROCEDURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE BY A BANKER SUBSTITUTED BY THE CHEMICAL WITH ANYTHING THE LINE PRESSURIZED AND SHALL BE CIRCULATED COMPLETELY FROM THE PIPE BY INSTALLING CORPORATION BOCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. IF THE JERSEY LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE. RETEST SHALL BE IN CONFORMANCE WITH AWWA STANDARD C600-77.
11. THE CONTRACTOR SHALL DISINFECT ALL WATER MAINS IN ACCORDANCE WITH AWWA STANDARD FOR "DISINFECTING WATER MAINS" DESIGNATION C-651. CHEMICAL PRECAUTIONS SUCH AS "HOT", "PROCEDURE", AND "BAKERLAND" MAY BE USED IN PLACE OR OPTIONAL FORM BUT IN NO INSTANCE WILL BALLOTS BE PERMITTED TO BE USED IN THE DISINFECTION OF WATER MAINS.
12. THE COLORIMETRIC METHOD SHALL ALTERNATE PROCEDURE TO THE WATER AND MAINTAIN A MINIMUM MINIMUM OF 25 PPM AFTER 24 HOURS. AFTER SATISFACTORY DISINFECTION OF THE TEST REGIONS, THE LINE SHALL BE COMPREHENSIVELY FLUSHED UNTIL THE MINIMUM CHLORINE MINIMUM, EQUALS ONE PPM ON THE MINIMUM OF THE SYSTEM, WHICHEVER IS GREATER. AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED INTO SERVICE SAMPLES SHALL BE TAKEN AND SUBMITTED TO THE JERSEY CITY HEALTH DEPARTMENT FOR BACTERIOLOGICAL ANALYSIS. IF THE WORK CONFORMS FACE TO PROJECT, BACTERIOLOGY SAMPLES, DISINFECTION SHALL BE REPEATED UNTIL SATISFACTORY SAMPLES HAVE BEEN OBTAINED.
13. ALL REQUIRED VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
14. ALL WATER MAINS SHALL BE AT LEAST 8" IN DIAMETER, TEN (10") AND TWO (2") DIAMETER MAINS SHALL NOT BE LAID.
15. THRUST BLOCKS AND TIE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
16. ALL FIRE HYDRANTS SHALL BE TWO (2) PIECE "JERSEY CITY STANDARD" HYDRANTS. TWO GROUNDS ASK FOR NEW YORK STD. AP SWITH FIRE HYDRANT SERVICE MANUFACTURED BY US PIPE FOUNDRY COMPANY, CAST IRONS, BOSTON, NEW JERSEY OFFICE PHONE: 1-800-367-8000.
17. FOR CITY WORK NOT CONSTRUCTION OR RELOCATION OF THE FOLLOWING SHALL BE REQUIRED:
    a. FIRE HYDRANT SPACING SHALL BE A MAXIMUM OF 300 FEET MEASURED CENTER TO CENTER.
    b. HYDRANTS SHALL BE LOCATED NO CLOSER THAN 20 FEET FROM THE FRONT OF TENEMENT OR SUBWAYS AT INTERSECTIONS.
    c. ALL ONE PIECE FIRE HYDRANT SHALL BE REMOVED AND REPLACED TO JERSEY CITY MUST AUTHORIZED AGENT. TWO PIECE FIRE HYDRANT MAY BE REPLACED WITH JERSEY CITY MAIN'S BUREAU OF ENGINEERING WITH PROVISION THAT THE TWO PIECE FIRE HYDRANT. A NEW HYDRANT WILL BE SUPPLIED BY JCMUA TO AUTHORIZED AGENTS FOR INSTALLATION FOR APPROVED PROJECT.
    d. HYDRANTS SHALL BE NO CLOSER THAN 30% (10") FEET FROM THE EDGE OF A PERPENDICULAR DRIVEWAY OR (20') FEET FROM THE EDGE OF COMMERCIAL DRIVEWAY, IN THE CASE WHERE DRIVEWAYS ARE EXPANDED OR NEWLY CONSTRUCTED, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF THE HYDRANT, WHICHEVER IS GREATER.
    e. ALL SHALL INCLUDE HYDRANTS ON (1/4") INCH OR LARGER SHALL HAVE A NEW VALVE AT THE BASE OF THE RELOCATED HYDRANT.
    f. NEW CASE VALVES AND BOXES ARE REQUIRED AT THE BASE OF RELOCATED HYDRANTS WHICH MORE THAN (20') FEET OF PIPE IS REQUIRED.
18. DRILLING WATER SERVICE (ONCE SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICES. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL REPORT AND CERTIFY THE ABANDONED SERVICES.
19. WATER MAINS TO BE ABANDONED SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, NOTE AND CONCRETE AS CLOSE TO THE ORIGINAL MAIN IN SERVICE AS POSSIBLE.
20. ALL VALVES SHALL BE OPERATED BY JERSEY CITY LOCK OR AUTHORIZED AGENTS HOWEVER. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, TWO (2) DAYS IN ADVANCE OF VALVE OPERATING REQUIREMENTS.
21. FAILURE TO COMPLY WITH THE MANDATORY REQUIREMENTS WILL RESULT IN THE IMMEDIATE SUSPENSION OF THE PROJECT.

REQUIREMENTS FOR PIPE AND CONCRETE WATER LINE AND METER INSTALLATIONS

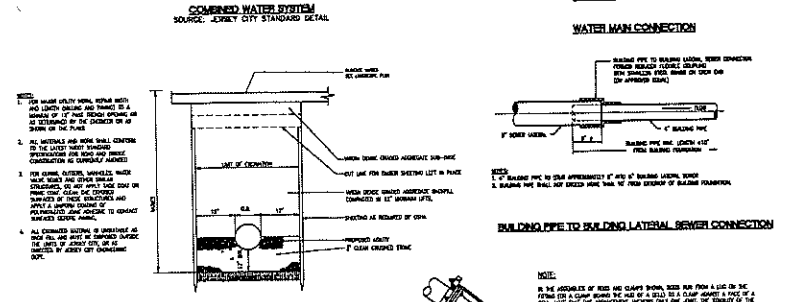
1. ALL ZONE SERVICE APPLICATIONS AND ALL SERVICES SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. THE (2) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.
2. SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS. SEE THE MODELS 1 TO MODELS 5 AS MODELS INCLUDED SHALL BE A SIZE PLAN SHOWING ADJACENT STREET WITH WATER MAIN, SEWERS, AND DETAILS MANDATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
3. INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF GAP, LOCATION OF TAPPING AND THE CLOSE GATE VALVES, DETAILED WATER METER, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF DEVELOPMENT OF THE FACILITY REQUIRED THE WATER SERVICE (I.E. RESIDENTIAL, WAREHOUSE, APARTMENT BUILDING, ETC)
4. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED BY THE JCMUA'S INSPECTOR AFTER INSTALLATION OF NEW TAP. THE ABANDONED LINE CUT SHALL BE MADE FOR BOTH SERVICE AND FIRE SERVICE. FOR FACILITY, THE TAP SHALL BE THE ABANDONED LINE CUT (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY JERSEY WATER JERSEY CITY (JWAC) UNLESS SPECIFICALLY APPROVED BY JCMUA.
5. ONLY ONE DOMESTIC/FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL SINGLE METERS ON INDIVIDUAL BRANCH CONNECTIONS SOMEWHERE OF DOMESTIC WATER SETUP WHERE THERE IS MORE THAN ONE DEPARTMENTS FOR A FACILITY. HOWEVER, ONLY ONE METER WILL BE ISSUED FOR THE FACILITY.
6. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TYPE 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL HAVE PRESSURE TESTING BALLS ON AIRS STANDARDS REFORMS TAP 8 VALVE.
7. FOR ALL SERVICES INCLUDED HYDRAN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED ON THE APPLICANT'S TAPPING VALVE, LOCATED AT THE TAP AND CLOSE VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING SLEEVE SHALL BE FURNISHED UPSIZED RIGHT. ALL TAPPING AND CLOSE VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE NET TAP UP TO 10 INCHES SHALL BE PERFORMED BY JCMU.
8. FOR TAPS OFF MAINS SWITCH (10) INCHES AND LARGER, THE CONTRACTOR SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE MONITORED ON SAME LARGER THAN TWENTY (20) INCHES UNLESS TOOKS A NO AUTOMATIC WATER SERVICE, AND SPECIAL WRITTEN APPROVAL IS ISSUED BY THE JCMUA.
9. MORE FOR MAINS FOR ALL MAINS SHALL BE PROVIDED BY THE CONTRACTOR. ALL TAPPING GATE VALVES LARGER THAN 8-INCHES AND ALL CLOSE VALVES/OPTIONS INSTALLATION OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURNED CORPORATION VALVES/ BOXES SHALL BE USED AT THE TAP FOR CLASS A COPPER SERVICES 2-INCHES AND SMALLER.
10. ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL USE PRESSURE CLASS 350 PSI, DUCTILE-IRON DUCTILE IRON PIPE WITH MECHANICAL JOINTS.
11. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. A 3/4" BUILDING LINE IS IN EXCESS OF 75 FT FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A 42" VAULT THE DISTANCE ON SIDEWALK BUT CLOSER PROXIMITY TO THE TAP.
12. FOR A REQUIRED FIRE SUPPRESSION SYSTEM, A DOMESTIC REQUIRED PRESSURE REDUCTION ASSEMBLY (WATER FOR BOTH) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE DISCHARGE PREVENTER ON THE DOMESTIC (WATER SUPPLY) ON THE MAIN FIRE LINE AND SUPPRESSION SYSTEM. A FIRE LINE DETECTOR CHECK WITH A SMALL CHECK VALVE CHECK TEMPORARY SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE DISCHARGE PREVENTER (WATER SUPPLY) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS. ALL FIRE SERVICES MUST HAVE GOOD SEALED METER. THE FIRE LINE SHALL BE FURNISHED WITH A SIZE INCH 1 INCH METERED STRAIN BYPASS BEFORE SHALL BE JERSEY CITY STANDARD SINGLE DEPARTMENT SCHEDULE METERS WITH PULSEVIEW AND PROVIDE PULSE CAPABILITIES. THE BYPASS SHALL HAVE UNIT SHALL BE LIKES FOR A DOMESTIC SERVICE AND FIRE SERVICE.
13. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE DISCHARGE PREVENTER (WATER SUPPLY) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PROVIDES A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING RULE GUIDE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE (N.J.A.C. 5:23-1.15 AND THE NEW JERSEY STATE DRINKING WATER ACT RULE 7:10-5.8 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL. IN CONSIDERING SOME SERVICES, THESE RESULTS BOTH SERVICES INCLUDED A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SOMEWHERE CAUSTICS.
14. IF A REDUCED PRESSURE DISCHARGE PREVENTER IS NOT REQUIRED ON THE DOMESTIC SERVICE, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE SIZE TEE.
15. ALL METER TABS 2 INCHES THROUGH 8 INCHES SHALL BE SINGLE COMPOUND MOTORS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLICE COMPOUND MANIFOLD METERS.
16. ALL METERS SHALL BE HORIZONTALLY MOUNTED WITH BOTH BRACKETS FASTENED BY THE PLUMB OR WALL OR OTHER APPROVED MOUNT SUCH AS UNPLUGGED SINGLE BRANCH PIPE PRESSURE AND FLOW MANUAL SIZE REPRESENTS METERS, DETECTOR CHECKS, AND VALVES MUST BE SITUATED ON CONCRETE BLOCK AND SUPPORT SHELF TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 30" INCHES FROM GRADE.
17. ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS DEPENDING FOR METER READING AND REPLACEMENT.
18. EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE VALVE SIDE IMMEDIATELY BEFORE THE METER ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT.
19. ALL COMPOUND METERS IN UNDERGROUND AS SHOW ALL AND MUST BE SUPPORTED SURFACE TRENCH AND MODULES AND BOXES AND UNITS FOR BOTH TYPES OF FACILITIES.
20. BEFORE TRENCH AND MODULE WORK SHALL BE CONNECTED TO THE METER MEMBER UTILIZING A 90L CAP FOR WATERTIGHT SEALING OF ALL SERVICE CONNECTIONS. TRENCH PIPE MAY BE WALL REMOVED ON LAID MEMBER WHERE A METER PIT IS UTILIZED. TRENCH PIPE CAN BE TO BE INSTALLED ON CONCRETE BLOCKING THAT SHALL HAVE STREET AND LOCATED AS DIRECT AS POSSIBLE ON STREETS. THE BOXES SHALL MUST BE INSTALLED WITH MINIMUM DEPTH AND LATERALS AS TO BE INSTALLED IN PROXIMITY TO STREET.
21. ALL INSTALLATIONS OF COMPOUND AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
22. ALL METERS INCLUDING TEMPS AND MODULES, AND BOXES MUST BE INSTALLED THROUGH THE PROPER CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
23. AFTER OBTAINING THE REQUIRED PERMITS DETAILED DRAWING, DAY, AND METERS MUST BE APPROVED SHALL CALL JCMUA AT (201) 238-1508 TO SCHEDULE THE DAY. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED DAY, AND WITHIN 30 JCMUA OR ITS AUTHORIZED AGENT BEFORE THE DAY WILL BE REQUESTED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH SOIL REQUIREMENTS FOR SHEETING AND SHEETS.
24. UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS.
- SPECIFICATIONS BASED ON APPROVED EQUAL.

JCMUA REVISED JUNE 26, 2006



COMBINED WATER SYSTEM
SOURCE: JERSEY CITY STANDARD DETAIL

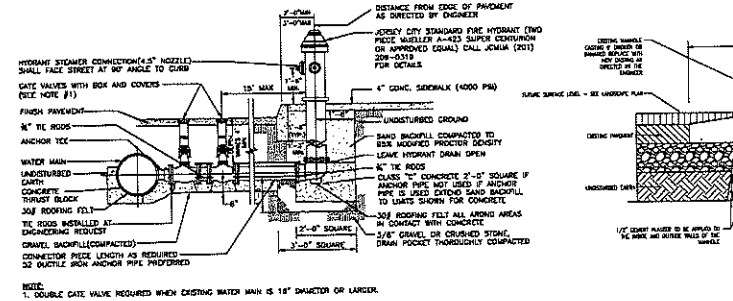
WATER MAIN CONNECTION



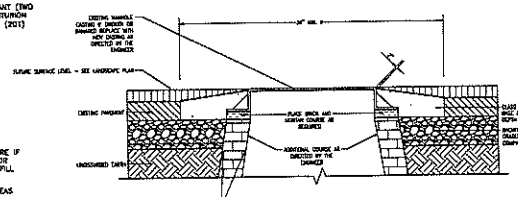
TYPICAL TRENCH
SOURCE: JERSEY CITY STANDARDS

BUILDING PIPE TO BUILDING LATERAL SEWER CONNECTION

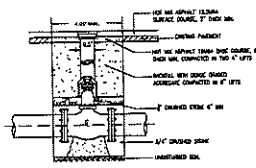
ANCHORS AT 45 BENDS



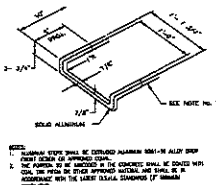
FIRE HYDRANT
SOURCE: JERSEY CITY STANDARD DETAIL



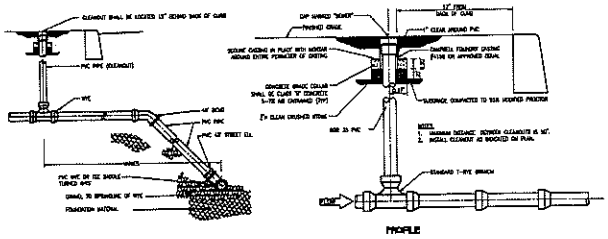
RESET MANHOLE CASTING
SOURCE: JERSEY CITY STANDARDS



WATER MAIN VALVE AND BOX



ALUMINUM STEP



SEWER LATERAL

THRUST BLOCK TABLE					
DIAMETER (IN OF PIPE (INCHES)	UP TO 10.5° BEND	UP TO 45° BEND	UP TO 90° BEND	TEES AND PLUGS	DEAD END TEE AND 90° BEND
	CONCRETE BEARING AREA OF THRUST BLOCK WITH UNDISTURBED EARTH (BEARING PSF)				
4		1.3	2.1	1.0	N 1.3 D 0.8
6	1.2	2.4	4.3	2.3	N 2.3 D 1.9
8	2.1	4.2	8.1	4.2	N 4.2 D 3.4
10	3.3	6.6	12.8	6.1	N 6.7 D 5.4
12	4.1	8.9	18.0	11.8	N 12.0 D 9.4
18	8.3	17.4	34.7	22.2	N 23.3 D 18.7
20	10.0	21.0	36.1	30.4	N 28.4 D 24.1
24	13.0	28.0	72.5	41.0	N 37.0 D 31.0

CONSTRUCTION NOTES:

1. BEARING AREA FOR THRUST BLOCKS ARE BASED ON THE UNDISTURBED SOIL WITH BEARING CAPACITY OF 1000 LBS. PER SQUARE FOOT. FOR SOIL OF LESS BEARING CAPACITY THE AREAS SHALL BE ADJUSTED ACCORDINGLY (FIGURE 1.4, ASCE "PIPELINE DESIGN FOR WATER AND WASTEWATER, 1997)
2. ALL CONCRETE FOR THRUST BLOCKS SHALL BE MIXED, CLASS C.
3. DIMENSIONS OF THRUST BLOCKS SHALL BE APPROXIMATELY SQUARE, AND THE THRUST BLOCKS SHALL BE POURED FROM FITTING BACK THAT THEY BEAR ON THE UNDISTURBED WALL OF THE TRENCH.
4. THE TABULATED DIAMETER BEARING AREAS LISTED ARE FOR HORIZONTAL AND DOWNWARD THRUST ONLY, AND ARE NOT ACCEPTABLE FOR UPWARD THRUST.
5. SIZE AND BEARING AREA FOR THRUST BLOCKS SHALL CONFORMS TO "CURRENT AWWA STANDARDS" AND SHALL BE DOCUMENTED ON THE PLANS.

THRUST BLOCKS
SOURCE: JERSEY CITY STANDARD DETAIL

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
2 CENTRAL PLAZA, SUITE 801, JERSEY CITY, NJ 07302
TEL: 201.217.9200 FAX: 201.217.0659
NEW JERSEY CERTIFICATE OF AUTHORIZATION - 24GA27960600

JERSEY CITY • FAIRFIELD • ASBURY PARK • CHERRY HILL

DATE	DESCRIPTION	BY
	REVISIONS	

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

Digitally signed by Matthew J. Neuls
Date: 2022.04.14 12:46:04-04'00'

MATTHEW J. NEULS
LICENSED PROFESSIONAL ENGINEER
NJ LIC. NO. 24GE02433300

CAP WORKING TITLE:
CONSTRUCTION DETAILS II

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:

DRAWN BY	CHECKED BY	DATE	DRAWING NUMBER
CW/GMS	MJN		C-902
NTS	REV. 1 04-14-2022		
JOB NO. 16491-006			SHEET 08 OF 08

FOR SITE PLAN APPROVAL ONLY - NOT FOR CONSTRUCTION

Exhibit E

PRELIMNARY/FINAL SITE PLAN

EXCHANGE PLACE IMPROVEMENTS

LOT 2, BLOCK 11604 AND EXCHANGE PLACE (PUBLIC R.O.W.)

CITY OF JERSEY CITY, COUNTY OF HUDSON, NEW JERSEY 07302

DRESDNER ROBIN

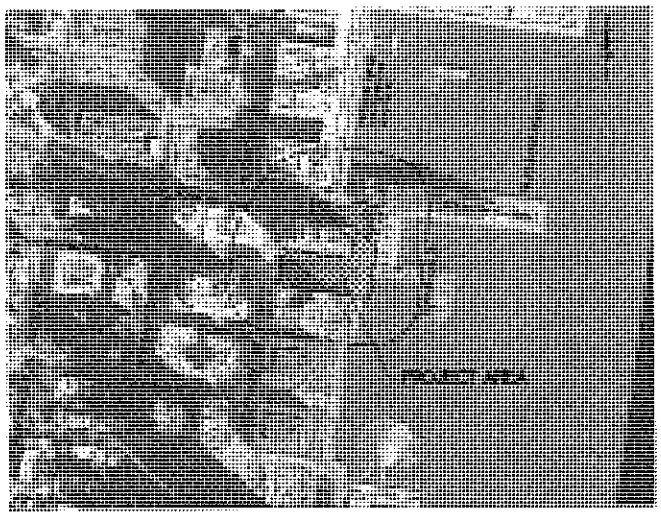
DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT, INC.
1 EXCHANGE PLAZA, SUITE 801, JERSEY CITY, NJ 07302
TEL: 201.217.9200 FAX: 201.217.9607
CERTIFICATE OF AUTHORIZATION 24GA27960400

JERSEY CITY • FAIRFIELD • ABERDEEN • CHERRY HILL

ABBREVIATIONS

ACP	ASBESTOS CEMENT PIPE
BC	BOTTOM OF CURB
BW	BOTTOM OF WALL
BLDG	BUILDING
BLK	BLOCK
BRL	BITUMINOUS
BM	BENCHMARK
BOL	BOLLARD
CB	CATCH BASIN
CK	CHECK
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
DI	DEPRESSED CURB
DIP	DUCTILE IRON PIPE
DWY	DRIVEWAY
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EXIST	EXISTING
FD	FLUSH DUMP
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FFE	FINISHED FLOOR
FHS	FIRE HOSE
FR	FRAME
FT	FEET
GAR	GARAGE
GF	GARDEN SE FLUSH
GRV	GRAVEL
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT
INV	INVERT
IP	IRON PIPE
LF	LINEAR FEET
MB	MAIL BOX
MH	MANHOLE
MW	MONITORING WELL
NP	NON-PROFITABILITY
OC	OIL CENTER
OCS	OUTLET CONTROL STRUCTURE
OHW	OVERHEAD WIRE
PAVMT	PAVEMENT
POC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
PRC	POINT OF REVERSE CURVE
PROP	PROPOSED
PVI	POINT OF VERTICAL INTERSECTION
PE	POINT OF EQUAL
PS	POINT OF SWITCH
PT	POINT OF TANGENCY
RCP	REINFORCED CONCRETE PIPE
RED	REDWOOD
RCP	REINFORCED CONCRETE PIPE
REF	REFERENCE
RR	RAILROAD
RRT	RAILROAD TIE
SAN	SANITARY
SL	SLOPE
SNF	SPLIT RAIL FENCE
STOCK	STOCKADE FENCE
STM	STORM
STMP	STAMPED
STY	STORY
SW	SIDEWALK
TEL	TELEPHONE
TG	TOP OF GUNG
TL	TRAFFIC LIGHT
TP	TOP OF PAVEL
TS	TOP OF STATE
TYP	TYPICAL
UCI	UNDERGROUND CONDUIT
UGE	UNDERGROUND ELECTRIC
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
WOF	WOOD STOCKADE FENCE
WV	WATER VALVE

LOCATION MAPS

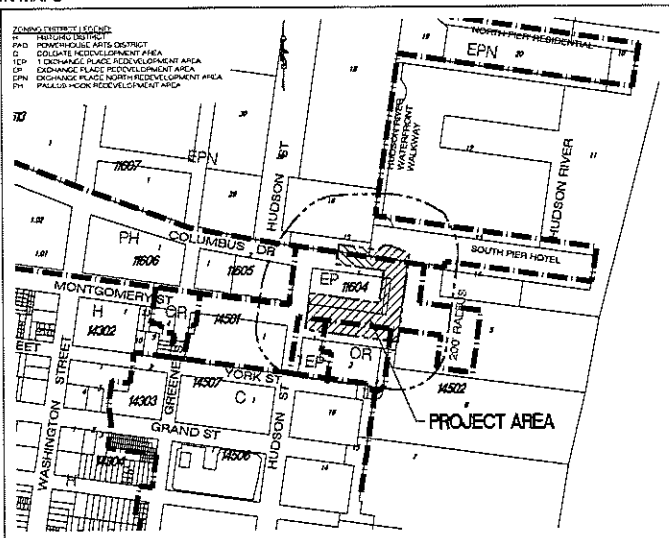


KEY MAP

NJ OFFICE OF INFORMATION TECHNOLOGY (NJOIT), OFFICE OF GEOSPATIAL INFORMATION SYSTEMS (OGIS)

SCALE: 1"=1,000'

ZONING DISTRICT LEGEND:
H HISTORIC DISTRICT
PAD POWERHOUSE ARTS DISTRICT
G COLGATE REDEVELOPMENT AREA
1EP 1 EXCHANGE PLACE REDEVELOPMENT AREA
EP EXCHANGE PLACE REDEVELOPMENT AREA
EPN EXCHANGE PLACE NORTH REDEVELOPMENT AREA
PH PAULUS HOOK REDEVELOPMENT AREA



AREA MAP

NORTH, CITY OF JERSEY CITY TAX MAPS, SHEET No. 11 & 14
LATITUDE: 40.718 N LONGITUDE: -74.033 W

SCALE: 1"=200'

PROJECT CONTACTS

OWNER
CITY OF JERSEY CITY
280 GROVE STREET
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EXCHANGE PLACE ALLIANCE
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SJP PROPERTIES
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MECHANICAL AND PLUMBING
BASE UNITED TECHNOLOGIES CORP.
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LIGHTING CONSULTANTS
BEAM LTD
428 WEST WAVERLY ROAD
GLENSIDE, PA, 19038
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ENVIRONMENTAL GRAPHICS
LEVERAGE DESIGN GROUP
PHONE: (917) 970-7195

GENERAL NOTES

1. DRESDNER ROBIN ASSUMES NO RESPONSIBILITY FOR THE INFORMATION, DISPLAYS, OR USE OF THESE DOCUMENTS BY ANY PARTY. THESE DOCUMENTS ARE ONLY INTENDED FOR USE BY THE CLIENT TO WHOM THE ARE CONTRACTED FOR OUR PURPOSE.

2. THE USE OF THIS PLAN OR SET OF PLANS, MAY BE DUPLICATE ON SITE SPAN, FOR PROPERLY COMPLETE THE IMPROVEMENTS SHOWN HEREIN. THE PLAN MAY BE PART OF A LARGE CONTRACTED SET. THE PLAN MAY BE ONLY PARTIALLY INDIVIDUAL PLAN CONTAINS RELEVANT INFORMATION FOR A INDIVIDUAL PURPOSE, BUT INTENDED TO BE USED IN CONJUNCTION WITH THE REMAINDER OF THE PLAN SET. FURTHERMORE, THE ENTIRE PLAN SET MAY REQUIRE ADDITIONAL INFORMATION REPRESENTED IN OTHER DOCUMENTS BY OTHERS, I.E. ARCHITECTURAL PLANS, MECHANICAL PLANS, ELECTRICAL PLANS, ETC. THE PLAN SET MUST BE REVIEWED IN ORDER TO APPROPRIATE FOR DRAWING INTENT.

3. THESE DOCUMENTS ARE PROVIDED FOR THE PURPOSES OF REVIEW BY VARIOUS REGULATORY AGENCIES. INFORMATION SHOWN HEREIN IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION. THE USE, MODIFICATION OR REPRODUCTION OF THIS PLAN DRAWING HAS FURNISHED SOLELY IN SUPPORT OF THE FOREGOING DEFINITION AND ARE NOT REPRESENTED AS BEING SUITABLE FOR ANY OTHER USE.

4. EXISTING CONDITIONS, EXCHANGE PLACE, UTILITIES AND SURVEY INFORMATION SHOWN HEREIN ARE BASED ON SURVEY INFORMATION OR INFORMATION PROVIDED FURNISHED BY OTHERS OR AN INTERPRETATION OF FOUNDING REASONABLY CONSTRUED AT THE TIME OF DRAWING. ALSO SERVICE, UNLESS INDIVIDUALLY NOTED NOT DETAILED OR INTENDED, MAY BE DEPENDENT OF UTILITY OWNERS. DRESDNER ROBIN ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.

5. PURSUANT TO NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48:2-73), THE CONTRACTOR MUST CONTACT THE NEW JERSEY ONE CALL SYSTEM AT (800) 272-1000 OR (01) FOR A MINIMUM OF ALL SUBSURFACE UTILITY LINES AND ADJACENT TO THE WORKSITE, AS REQUIRED BY THE REGULATIONS OF N.J.A.C. 14:7. THE CONTRACTOR MUST ALLOW FOR THE REQUIRED NOTICE PERIOD TO EXPIRE PRIOR TO EXCAVATION IN ORDER TO ENSURE THAT ALL PUBLIC UTILITY LINES ARE MARKED. PRIVATE UTILITY LINES CANNOT BE MARKED BY THE PUBLIC UTILITY COMPANIES. THE CONTRACTOR SHOULD BE TAKEN TO AVOID DAMAGING ALL UTILITY LINES MARKED AND UNMARKED DURING EXCAVATION WORK.

6. UTILITY AND OTHER CONSTRUCTION NOTES WHERE SHOWN ON THE DOCUMENTS ARE PROVIDED AS REQUESTED BY REGULATORY AGENCIES, AGENCIES, MASTER QUALIFICATIONS AGENCIES, BUREAU UTILITY PROVIDERS, AND NOTED AND NOT REQUIRED TO ENABLE THESE DOCUMENTS FOR CONSTRUCTION PURPOSES.

7. EXISTING INFORMATION SHOWN HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONSTRUCTION LAYOUT OR ORDERING MATERIALS. THE ENTITY RESPONSIBLE FOR CONSTRUCTION LAYOUT SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF INFORMATION SHOWN HEREIN. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DEVIATIONS TO GROUNDWATER FROM THE DESIGNATION.

8. THE IMPLEMENTATION OF ALL APPLICABLE WORKER SAFETY REGULATIONS, INCLUDING THOSE REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OSHA WORKER SAFETY REGULATIONS ARE PUBLISHED AT 29 CFR 1910. WITHIN WARRANTS RELATIVE TO SPECIFIC TYPES OF WORK, DRESDNER ROBIN TAKES NO RESPONSIBILITY FOR WEATHER AND CITY PROGRAMS RELATIVE TO THE CAUSES WORK FORCE.

EXCHANGE PLACE ALLIANCE

HARBORSIDE 2 - 200 HUDSON STREET - SUITE 801 JERSEY CITY, NJ 07311

BOARD OF DIRECTORS	STAFF
MICHAEL J. DEMARCO PRESIDENT MACK-CALI	ELIZABETH CAIN EXECUTIVE DIRECTOR
JOYCE WATTERMAN CITY COUNCIL REPRESENTATIVE	MARTIN SCHMID ECONOMIC DEVELOPMENT MANAGER
RICARDO CARDOSA MACK-CALI	
GUS MILANO HARTZ MOUNTAIN	
STEVE POZYCKI SJP PROPERTIES	
ANDY SIEGEL HISTORIC PAULUS HOOK ASSOCIATION	
JEREMY FARRELL LEFRAK	

ZONING TABLE

SITE STATISTICS

EXCHANGE PLACE R.O.W. AND PORTIONS OF LOT 2 OF BLOCK 11604

Site Statistics	PROVIDED
Principal Use	Open park
Accessory Uses	Kiosks, chairs, sidewalks, landscaping, bath house, playground, etc.
Site Area	1.77 acres
Site Coverage	24.0%
Signage	One (1) monument sign, wayfinding signage
Landscaping	See Landscaping Plans

SHEET INDEX

SHEET NO.	DRAWING NO.	DRAWING TITLE	DATE	PREPARED BY
1	G-001	COVER SHEET	06-14-2022	DRESDNER ROBIN
2	C-001	SITE LAYOUT PLAN	06-14-2022	DRESDNER ROBIN
3	C-002	OVERALL GRADING PLAN	06-14-2022	DRESDNER ROBIN
4	C-003	OVERALL DRAINAGE SANITARY PLAN	06-14-2022	DRESDNER ROBIN
5	C-004	SITE DETAILS AND UNDERGROUND UTILITIES PLAN	06-14-2022	DRESDNER ROBIN
6	C-005	SITE LIGHTING PLAN AND UNDERGROUND UTILITIES PLAN	06-14-2022	DRESDNER ROBIN
7	C-006	CONSTRUCTION DETAILS	06-14-2022	DRESDNER ROBIN
8	C-007	CONSTRUCTION DETAILS	06-14-2022	DRESDNER ROBIN

CERTIFICATIONS

CITY OF JERSEY CITY

APPROVED BY THE PLANNING BOARD OF THE CITY OF JERSEY CITY AT A MEETING HELD ON THE _____ DAY OF _____, 20____

CHAIRMAN — DATE

SECRETARY — DATE

CITY ENGINEER — DATE

AGENCY CONTACTS

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VERIZON COMMUNICATIONS
ED SANCHEZ
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NEWARK, NJ 07102

CABLE AND BROADBAND
COMCAST OF JERSEY CITY
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SEWAGE TREATMENT
PASSAIC VALLEY SEWERAGE COMMISSION
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PHONE: 973.344.4218

REVISIONS		
No.	DATE	DESCRIPTION

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
LICENSE NUMBER 24GE04615300

DRAWING TITLE:
COVER SHEET

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

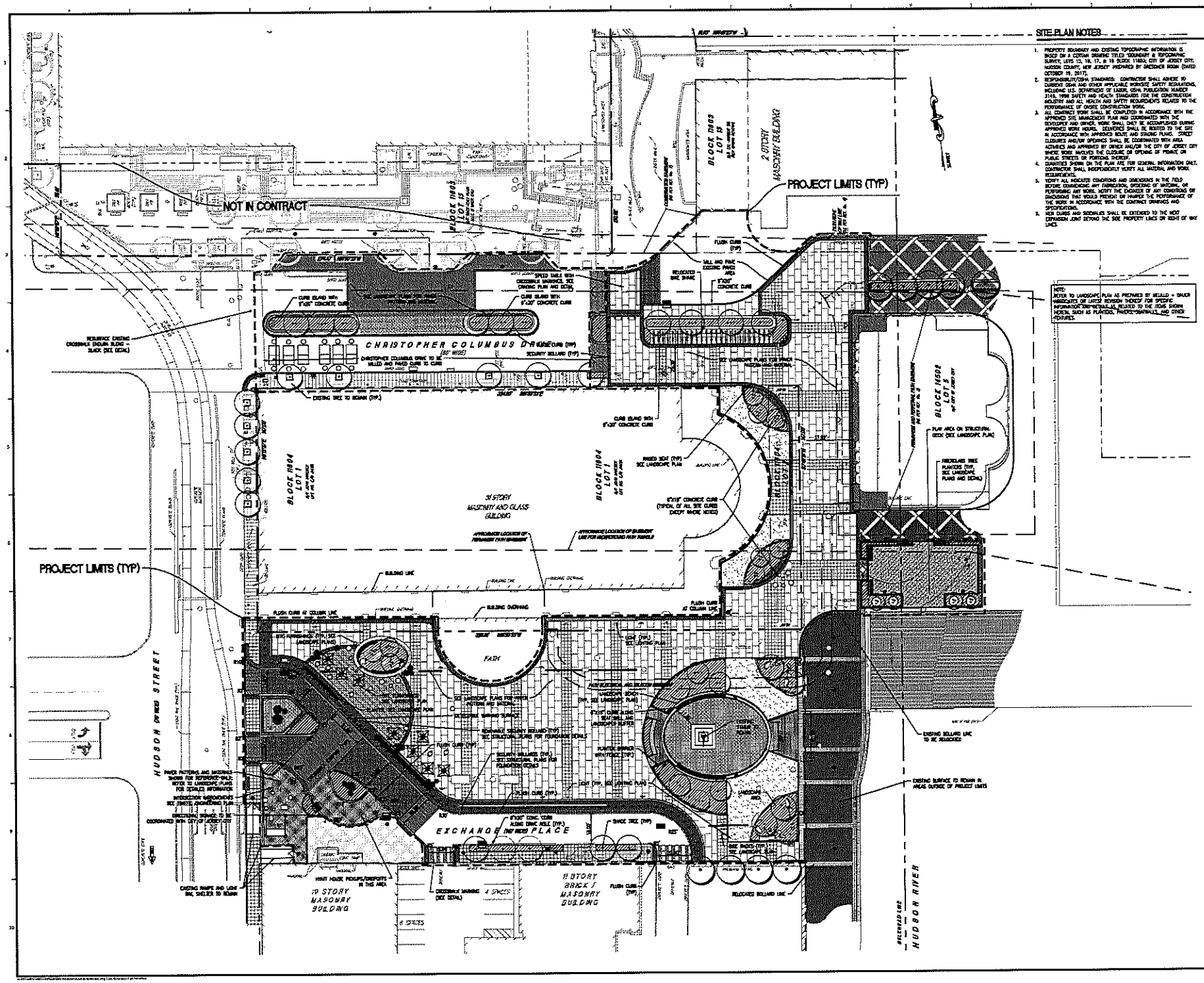
LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:
AS NOTED

DESIGNED BY	DRAWN BY	CHECKED BY	DRAWING NUMBER
CW	MBR		G-001
DATE: 06-14-2022			

PROJECT NO. 10451-006 — SHEET 01 OF 08

NOT FOR CONSTRUCTION



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT INC.
1 EXCHANGE PLACE, SUITE 801, JERSEY CITY, NJ 07302
TEL: 201.217.9300 · FAX: 201.217.9307
WWW.DRESDNERROBIN.COM · INFO@DRESDNERROBIN.COM

JERSEY CITY • CLIFFSIDE • ASBURY PARK • CHERRY HILL

01	04/14/2023	IFC/IFP/IFB
00	03/31/2023	IFC/IFP/IFB
NO.	DATE	REVISION

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
NJ LICENSE NO. 24GE02701300

DRAWING TITLE:
SITE PLAN

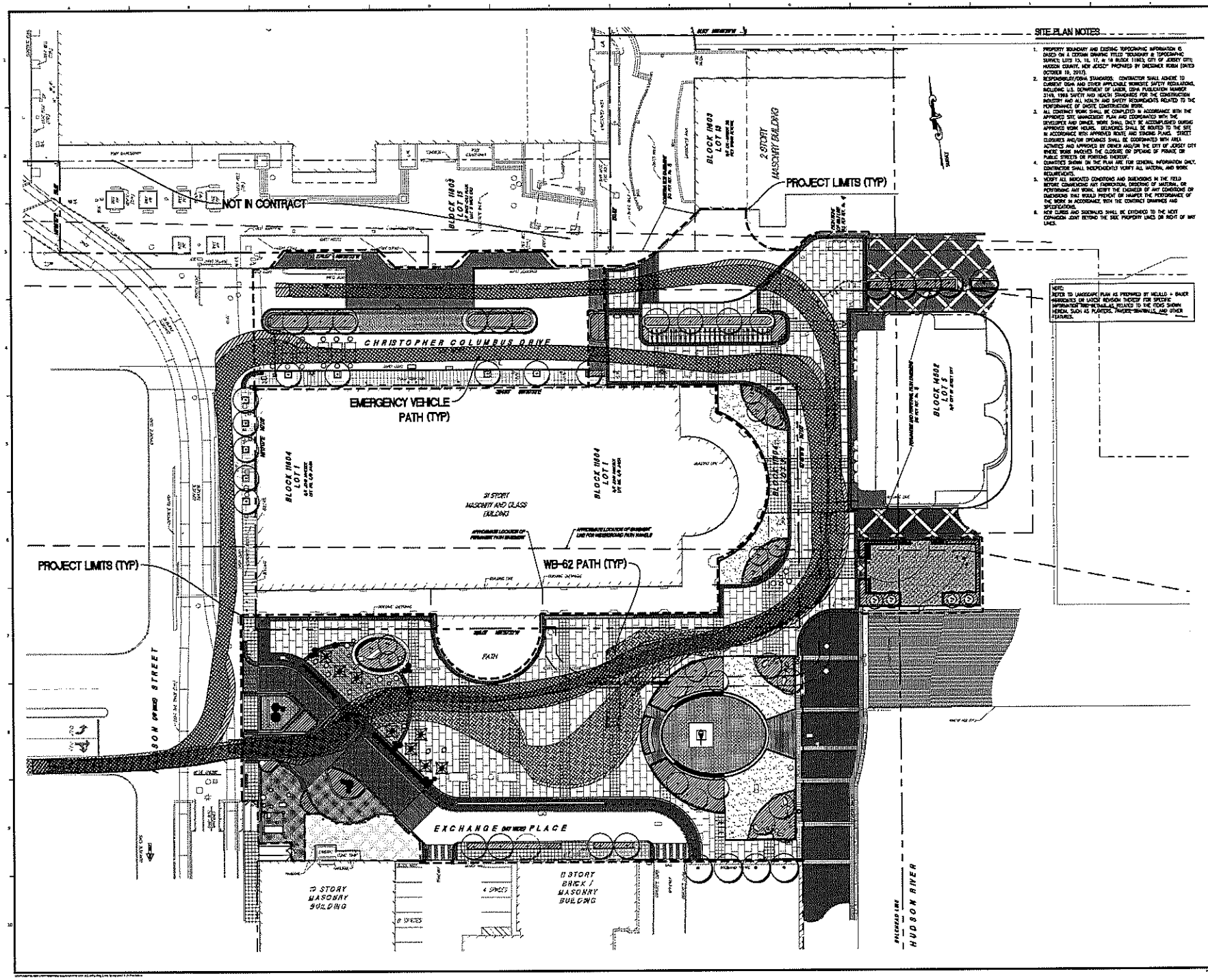
PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE: 1"=20'

DRAWN BY: CW/GRG	DESIGNED BY: MJN	DRAWING NUMBER: C-301
SCALE: 1"=20'	DATE: 04-14-2023	
PROJECT: 10491-006		SHEET 02 OF 08

NOT FOR CONSTRUCTION



SITE PLAN NOTES

1. PROPERTY BOUNDARY AND EXISTING TOPOGRAPHIC INFORMATION IS BASED ON A CERTAIN DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY, LOTS 13, 15, 17, & 18 BLOCK 11003, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" PREPARED BY DRESDNER ROBIN DATED OCTOBER 19, 2017.
2. RESPONSIBILITY/OSHA STANDARDS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER APPLICABLE WORKSITE SAFETY REGULATIONS, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3149, 1986 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF ONSITE CONSTRUCTION WORK.
3. ALL CONTRACT WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED SITE MANAGEMENT PLAN AND COORDINATED WITH THE DEVELOPER AND OWNER. WORK SHALL ONLY BE ACCOMPLISHED DURING APPROVED WORK HOURS. BELONGINGS SHALL BE MOVED TO THE SITE IN ACCORDANCE WITH APPROVED ROUTE AND STAGING PLANS. STREET CLOSURES AND/OR OPENINGS SHALL BE COORDINATED WITH AREA ACTIVITIES AND APPROVED BY OWNER AND/OR THE CITY OF JERSEY CITY WHERE WORK INVOLVES THE CLOSURE OR OPENING OF PRIVATE OR PUBLIC STREETS OR PORTIONS THEREOF.
4. QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL INDEPENDENTLY VERIFY ALL MATERIAL AND WORK REQUIREMENTS.
5. VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
6. NOR CURBS AND SIDEWALKS SHALL BE EXTENDED TO THE NEXT EXPANSION JOINT BEYOND THE SITE PROPERTY LINES OR RIGHT OF WAY LINES.

NOTE:
REFER TO LANDSCAPE PLAN AS PREPARED BY NEULS + BAUER ARCHITECTS OR LATEST REVISION THEREOF FOR SPECIFIC INFORMATION THAT IS NOT SHOWN AS RELATED TO THE TOPO SHOWN HEREON, SUCH AS PLANTERS, PAVERS, SEATWALLS, AND OTHER FEATURES.

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NJ CERTIFICATE OF AUTHORIZATION 24GA27960000

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NO.	REVISIONS	ACCEPTED FOR COMMENT	ERG
NO.	DATE	DESCRIPTION	BY

REVISIONS

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
REGISTERED ARCHITECT
NEW JERSEY LICENSE NO. AI06-00015300

DRAWING TITLE:
VEHICLE MANEUVERING PLAN

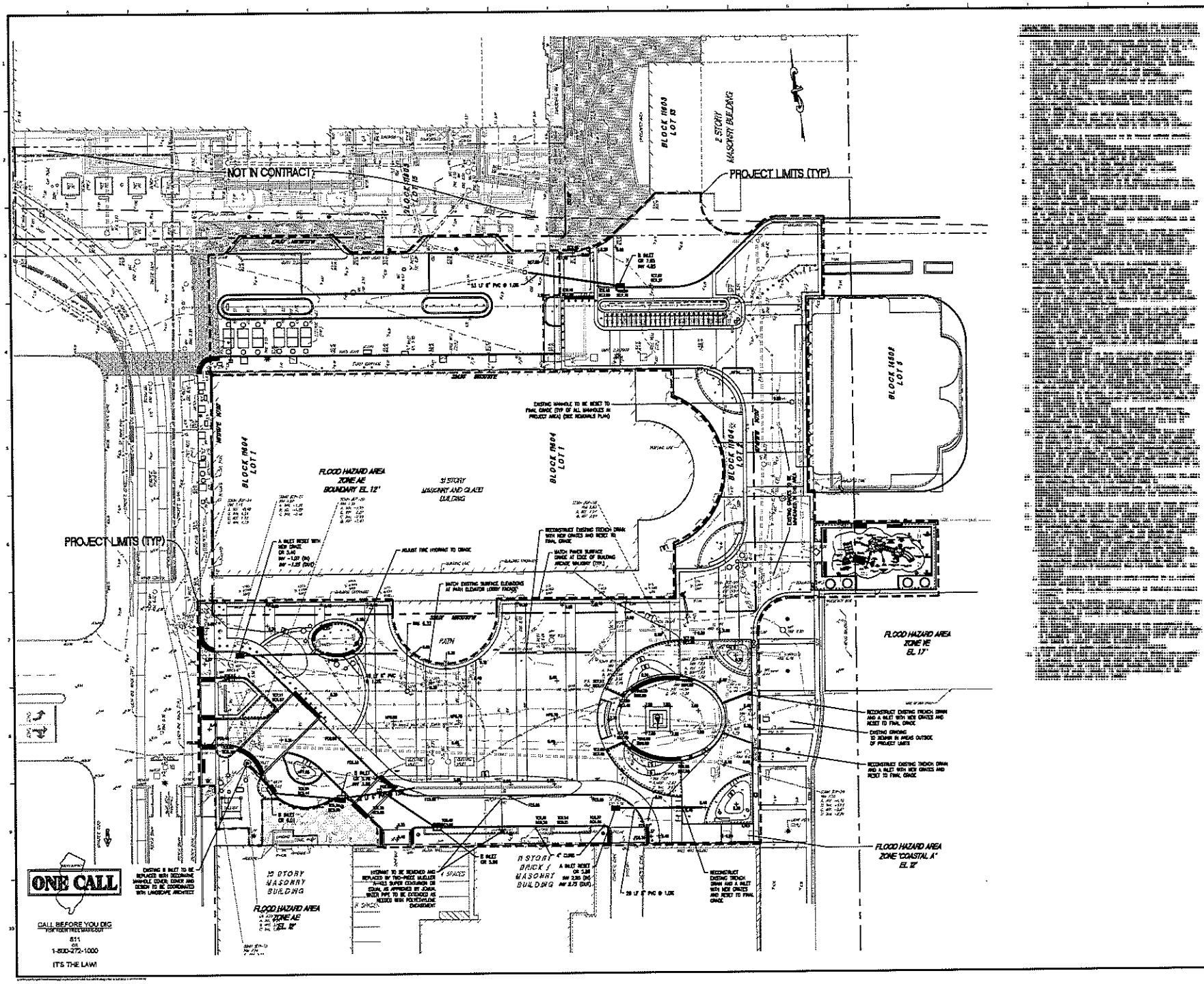
PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:
20 10 0 20
SCALE: 1"=20'

DRAWN BY	CHECKED BY	DRAWING NUMBER
CW/ERG	MRN	C-311
SCALE 1"=20'	DATE 04-14-2023	
JOB NO. 10491-006	SHEET 03 OF 08	

NOT FOR CONSTRUCTION



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NJ CERTIFICATE OF AUTHORIZATION: 24GA27960600

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REVISIONS

CITY OF JERSEY CITY
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HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04043300

GRADING, DRAINAGE AND UTILITY PLAN

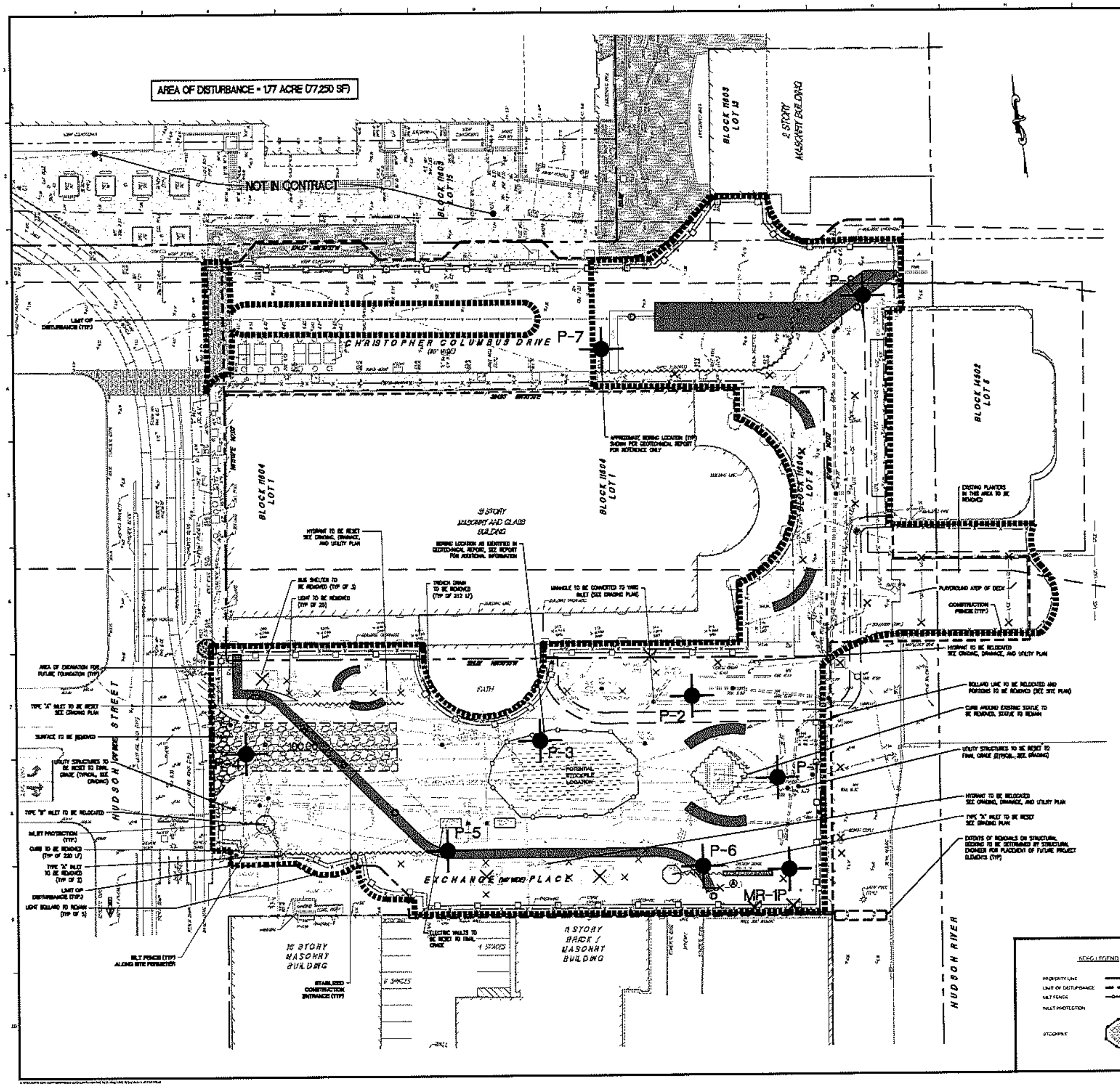
EXCHANGE PLACE PLAZA IMPROVEMENTS

EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE: 1"=20'

CHK/DRG: MSM
SCALE: 1"=20'
DATE: 04-14-2023
C-401
10491-006
SHEET 04 OF 08

NOT FOR CONSTRUCTION



REMOVALS AND EROSION CONTROL PLAN NOTES

[illegible]

ONE CALL

CALL BEFORE YOU DIG
811
or
1-800-272-1000
IT'S THE LAW!

SESC LEGEND

PROPERTY LINE	— - - —
LIMIT OF DISTURBANCE	— — — —
SILT FENCE	—o—o—o—
INLET PROTECTION	●
STOCKPILE	⬣

LINEAR FEATURE TO BE REMOVED	〰
TEMPORARY CONSTRUCTION FENCE	—X—
LIMIT OF DISTURBANCE	▬▬▬
SURFACE REMOVAL	▨
SURFACE REMOVAL AND EXCAVATION AREA	▩
FEATURE TO BE REMOVED	✕
UTILITY STRUCTURE TO BE RESET	⊗

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AUTHORIZATION 24GA27946000

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REVISIONS:

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04363300

DRAWING TITLE:
REMOVALS, EROSION, AND SEDIMENT CONTROL PLAN

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:
20 10 0 20
SCALE: 1"=20'

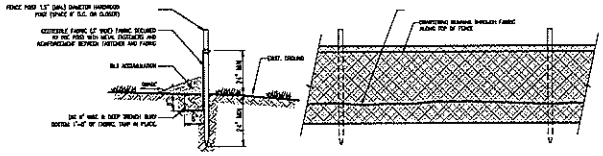
DRAWN BY: CW/GRG
CHECKED BY: MJN
SCALE: 1"=20'
DATE: 04-14-2022
JOB: 10491-006
C-801
SHEET 05 OF 08
NOT FOR CONSTRUCTION

HUDSON SERIES FABRIC – SOIL CONSERVATION DISTRICT – SOIL EROSION AND SEDIMENT CONTROL NOTES

Revised December 2017

1. ALL SOIL EROSION AND SEDIMENT CONTROL PROTECTIVE ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN EFFECT AT THE TIME OF PLAN APPROVAL. THESE STANDARDS WILL BE INSTALLED PRIOR TO ANY OTHER SITE DISTURBANCE, OR IN ANY PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. SOIL TO BE DISTURBED OR STOCKPILED FOR A PERIOD OF SEVENTY THREE 73 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MUST BE PROTECTED TO BE BE TEMPORARILY SEEDED. ALL SLOPES OR DISTURBED PROPERLY WITH VEGETATIVE COVER PER APPENDIX A.6. THE TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME EROSION PERMANENT REVEGETATION IS ESTABLISHED.
3. **SEEDING DATES:** THE FOLLOWING SEEDING DATES ARE BEST RECOMMENDED TO ACHIEVE MAXIMUM PERMANENT VEGETATIVE COVER WITHIN MOST LOCALITIES IN THE NATION. SCHOOL ___ SOLSTICE AND JULY ___ SOLSTICE.
4. SEDIMENT FENCES ARE TO BE PROPERLY MAINTAINED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED BY THE ENGINEER, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. WHERE DRAINAGE SWALES POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. BLOCK MATERIALS SHALL BE LOW-ARCHED SHALL STRAW BALES APPLIED AT THE RATE OF 70 TO 90 BALES PER 1,000 SQUARE FEET AND ANCHORED WITH A BLOCK ANCHORING TOOL, LONG BLOCK BRIDGE, OR PLACED IN SHALL STRAW BALES, MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CHANGED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE REPAIRED IMMEDIATELY.
8. THE HUDSON-CRESS-MARMAC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED **IN WRITING** AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBANCE ACTIVITIES. OR – (908) 782-2097 OR (908) – **[illegible]**
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED DISTURBANCE/COMPLIANCE PERMIT TO APPLICANT FOR THE CERTIFICATE OF ACCEPTANCE OR PERFORMANCE CERTIFICATE OF COMPLIANCE FORM THE CONSERVATION HANDBOOK/CHAPTER 12 AND OTHER APPROPRIATE DETAILS. CONTACT THE DISTRICT AT 908-782-2097 PRIOR TO REQUEST A FINAL INSPECTION. CHANGE DURING THE CONSTRUCTION OF THE PERMANENT MEASURES, A PERFORMANCE INSPECTOR MAY BE PERFORM WITH THE DISTRICT WHEN WHERE SEQUENCE ON SITE CONDITIONS PROMOTES THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR OTHER DETAIL.
10. PROPER SEDIMENTS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT VALVE A PIPE ON SHORTER NOTE TO CLEAN MORE UNLESS THE DISTRICT IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT TRAPS. MUST PUMPED OUT OF THE DISTRICTS MORE CONTROL SEDIMENTS THAT MUST BE REMOVED PRIOR TO PROCEEDING TO PREVENT SOURCE OF WATER MORE REASONABLE PUMPING STATIONS, DAMP PITS, POCKETS, SEDIMENTATION TRAPS AND/OR SILT CONTROL BAGS.
11. ALL DISPOSED MINING LAND OR CONSIDERED AS FILL, COVER MUST BE BE PROVIDED TOPSOIL PRIOR TO RE-VEGETATE, SEEDING OR PLANTING. A DEPTH OF 3.0 INCHES, FIRMLY IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR VEGETATIVE AND LAND STABILIZATION, EFFECTIVE DECEMBER 2017.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE SHALL CONTAIN MACADAM—NO 8 TO BE INSTALLED AT ALL SITE EXISTS LARGE 2 IN —TERMINED MACADAM STONE (MEDIUM 2 IN TO 70 A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6. ALL EMERGENCY SHALL BE PROVIDED WITH DRAINAGE SWALE LINES, FOUND IN CHAPTER.
14. STEEP SLOPES REQUIRING PERFORMANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE SPECIFIC MEASURES SHALL BE REVIEWED BY THE APPROPRIATE OFFICER PRIOR TO APPROVAL OF THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-CRESS-MARMAC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF MINIMUM LOTS. NON DAMAGE MATERIALS SHALL BE PROVIDED ADDITIONAL SHALL BE REVIEWED. ADDITIONAL MEASURES MAY BE REQUIRED. ADDITIONAL SHALL BE IMPLEMENTED AS CONDITIONS REQUIRED.

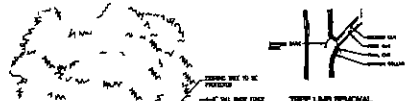
SEQUENCE OF CONSTRUCTION	DURATION
1. CONTACT THE COUNTY SOIL CONSERVATION DISTRICT, 48 HOURS, 72 HOURS PRIOR TO ANY LAND DISTURBANCE.	3 DAYS
2. INSTALL SILT FENCE AND INLET PROTECTION.	1 WEEK
3. REMOVE EXISTING FIXTURES TO CONSTRUCT IMPROVEMENTS.	1 MONTHS
4. INSTALL UNDERGROUND UTILITIES	2 MONTHS
5. INSTALL LIGHTING AND LANDSCAPING.	4 MONTHS
6. REMOVE THE SOIL EROSION MEASURES AND STABILIZE THE ENTIRE SITE.	1 WEEK
7. CONTACT THE COUNTY SOIL CONSERVATION DISTRICT TO SCHEDULE AN INSPECTION AND OBTAIN A REPORT OF COMPLIANCE.	3 DAYS



NOTES:
1. FENCE POSTS SHALL BE SPACED A MAXIMUM OF EIGHT ON CLOSER, POST SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 3 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER DIMENSION OF 1.5 INCHES.
2. A WIRE FENCE WITH A HIGH SPACING NO SMALLER AND NO LARGER 2 FEET HIGH MAY BE UNLIKELY, PROVIDED IN THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE NECESSARY FABRIC SHOULD SPACE FOR OTHER PROTECTED IS SUPPORT AND MUST REMAIN UNDER A EXPERTISE.
3. A DEPENDING FABRIC RECOMMENDED FOR SHORT USE OF THE MANUFACTURER SHALL BE BURIED AT LEAST 8 INCHES IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 3 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A WIRING OF METAL FASTENERS SHALL FOR SIMPLIFIED AND A MIN. STRENGTH REINFORCEMENT MATERIAL (STRUTS BEARING, ORNAMENTS, PROPERTIES ETC.) PLACED BETWEEN THE FASTENER AND THE ESTIMATED FABRIC. THE PROTRUDED ENDSTOP SHALL BEGINS FLANGE AWAY FROM THE POLE. THE FABRIC SHALL SCARPHANE A WINDERING AT THE TOP PORTION OF THE POST FOR GOOD STRUCTURE.

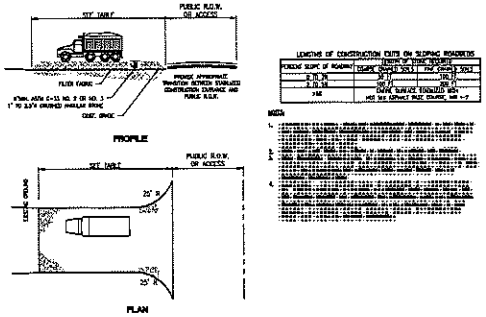
MAINTENANCE:
1. SILT FENCE SHALL BE INSPECTED AFTER EVERY RAIN EVENT. ANY DAMAGE MUST BE REPAIRED IMMEDIATELY.
2. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UPSTREAM SIDE OF THE SILT FENCE WHEN IT REACHES HALF THE DISTANCE THAT VISIBLE BULGES DEVELOP IN THE FENCE OR REACHES HALFWAY UP THE FENCE.
3. SILT FENCE SHALL ONLY BE REMOVED AFTER VEGETATIVE GROWTH OR OTHER STABILIZATION MEASURES HAVE BEEN ACHIEVED.

SILT FENCE



NOTES:
1. SNOW FENCING SHALL BE INSTALLED AT DRIP LINE OF TREE REMOVED.
2. NO WORKER, ARE TO BE ABLE TO TREE.
3. FENCE POSTS SHALL BE SET DEEP THE FENCE EMPHASIZES DRIP LINE.
4. TREE LIMB REMOVAL, WHERE NECESSARY, MUST BE DONE TO TRIMMED THE BRANCHES.
5. ALL TREES INSIDE THE LIMIT OF DISTURBANCE TO BE PROTECTED MUST BE PROTECTED WITH ORANGE TREE PROTECTION FENCE.
6. PROTECT TREE DURING RIGHT WELL. ANY DAMAGE MUST BE PERMANENTLY TREATED TO WORK DONE COMPLETED TO THE TOWNSHIP ARBORIST FOR APPROVAL.
7. FENCE MUST REMAIN AND BE MAINTAINED THROUGH DURATION OF CONSTRUCTION.

TREE PROTECTION

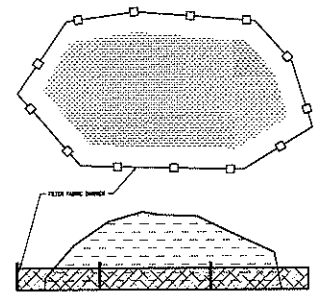


LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADWAYS

FOREGOING SLOPE OF ROADWAY	TOGAPHY	LENGTH OF STONE TRACKING PAD	
		FOR CONVEX SLOPE	FOR CONCAVE SLOPE
0 TO 2%		100 FT	100 FT
2 TO 5%		150 FT	100 FT
>5%		SHORT SURFACE EXTENSION WITH HIGH SIDE ASPHALT PLUG COVERED, MIN 4-7	

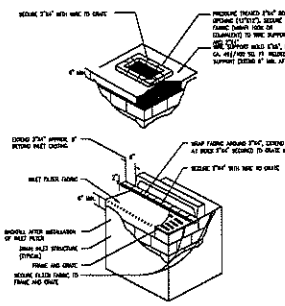
NOTES:
1. [illegible]
2. [illegible]
3. [illegible]
4. [illegible]

STABILIZED CONSTRUCTION ACCESS



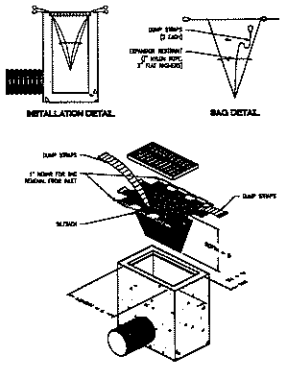
NOTES:
1. FILTER FABRIC INSTALLED PER DETAIL, SOIL STOCKPILES OF FINE PARTICLES TO BE COVERED OR SHIELDED WITH VEGETATION.

STOCKPILE

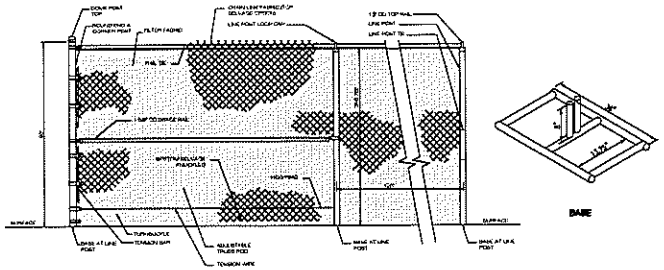


NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
2. CONTRACTOR TO REMOVE FABRIC AND MOW AREA PRIOR TO MOWING.
3. THE PROTECTION DEVICE WILL BE REMOVED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL INFILL CANNOT INFILTRATE FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

INLET FILTER BARRIER PROTECTION



INLET PROTECTION



TEMPORARY CONSTRUCTION FENCE

SOIL COMPACTION EXEMPTION NOTE

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1) UNDER EXISTING CONDITIONS. THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGRADING IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2015). NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

DRESDNER ROBIN

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3 EXCHANGE PLAZA, SUITE 501, JERSEY CITY, NJ 07302
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WWW.DRESDNER-ROBIN.COM | INFO@DRESDNER-ROBIN.COM

JERSEY CITY • HARRISON • ASBURY PARK • CHERRY HILL

NO.	DATE	DESCRIPTION	BY
1	06/24/2022	CONTRACTOR REVIEW	MJN
0	04/01/2022	INITIAL SUBMITTAL	JC

REVISIONS

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NUMBER 24GE04325300

DRAWING TITLE:
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

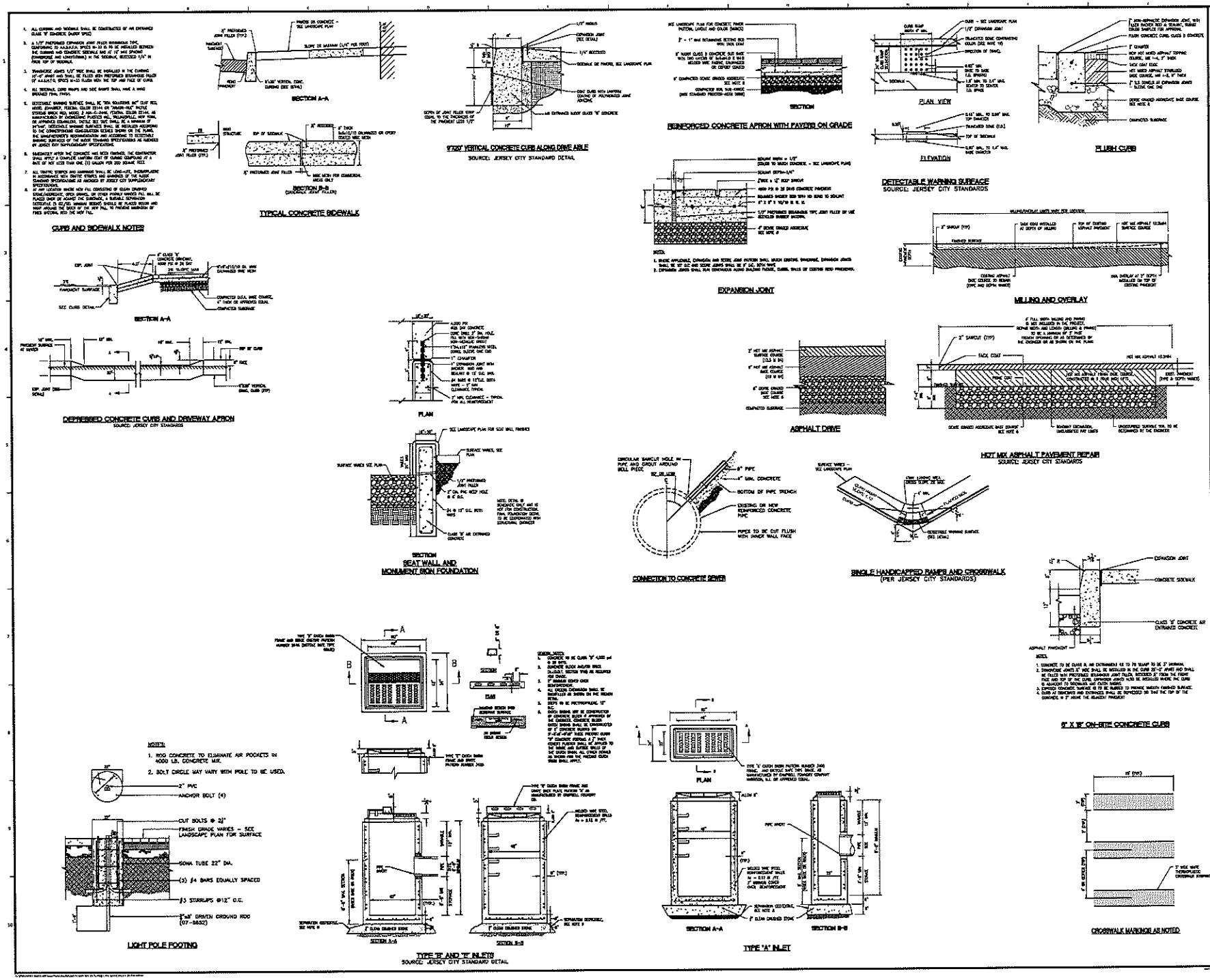
PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE:

DESIGNED BY	DRAWN BY	DATE	DRAWING NUMBER
CW/ORG	MJN	06-14-2022	C-802
SCALE: N/A			
PROJECT NO. 10481-006		SHEET 06 OF 08	

NOT FOR CONSTRUCTION



DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT INC.
3 CLIFFWOOD PLACE, SUITE 101 CLIFFSIDE PARK, NJ 07010
TEL: 201.317.2100 FAX: 201.317.9007
WWW.DRESDNERROBIN.COM 2006-0700-00

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NO.	DATE	DESCRIPTION	BY
1	04/14/22	ISSUED FOR PERMIT	AJM

REVISIONS:

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24GE04513300

DRAWING TITLE:
CONSTRUCTION DETAILS I

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

SCALE: NTS
DATE: 04-14-2022
DRAWN BY: CW/GBS
CHECKED BY: MJN
JOB NO.: 10491-006
SHEET: C-901
SHEET 07 OF 08

NOT FOR CONSTRUCTION

WATER DISTRIBUTION SYSTEM STANDARDS

1. WATER MAINS SHALL BE PER CLASS 350, CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH A.W.S.A. STANDARD A21.50-76 (AWWA C150-76)
2. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL (PER TEST REPORT TO ISO9 F13).
3. GATE VALVE SHALL BE IN CONFORMANCE WITH A.W.S.A./AWWA STANDARD DOUBLE DISC GATES WITH OR CLOSE AND OR NO APPROVED EQUAL (C500-69) AND SHALL BE JERSEY CITY STANDARD MODEL WITH MECHANICAL JOINT VALVES AS MANUFACTURED BY DRESSER COMPANY OR APPROVED EQUAL. VALVES SHALL BE NON-RISING STEM, MECHANICAL JOINT SHALL BE FURNISHED WITH A (2") SQUARE OPERATING NUT SUCH OPEN BY RUNNING TO THE RIGHT. THE VALVE SHALL BE FURNISHED WITH BY-PASS. VALVE SHALL BE MADE SOLID HEAT CURED EPOXY COATED RUBBER-FREE IN THE WAREHOUSE. THE USE OF SLIPPER SEALS IS NOT ACCEPTABLE.
4. BUTTERFLY VALVES SHALL BE IN CONFORMANCE WITH AWWA/A.W.S.A. STANDARD C504-80. BUTTERFLY VALVES SHALL BE CLASS 150B, MECHANICAL JOINT, WITH RUBBER SEAT MOUNTED ON THE DISC. SHALL BE FURNISHED WITH A (2") SQUARE OPERATING NUT AND SHALL OPEN BY RUNNING TO THE RIGHT. THE VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED RUBBER-FREE IN THE WAREHOUSE. THE USE OF SLIPPER SEALS IS NOT ACCEPTABLE IN MAINS (1X") AND LARGER.
5. VALVES BOXES SHALL BE JERSEY CITY "STANDARD" AS MANUFACTURED BY BANNING AND TAYLOR, OR APPROVED EQUAL. BOXES SHALL HAVE A MINIMUM OF 6-1/2 INCH DIAMETER AND SHALL BE AN ADJUSTABLE SCREW TYPE WITH THE BOX EXTENDING FROM THE BONNETS TO (2") INCHES ABOVE THE VALVE BONNET. VALVE BOXES SHALL BE CAST IRON WITH A STANDARD DISH, SAY FOLLOWING TYP NUTS CAST IRON WATER BOXES COVER AND THE WORD "WATER" CAST IN THE COVER. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE EXISTING GRADE ELEVATION.
6. CONCRETE FOR VALVE SEATS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3000 PSI.
7. SELECT GRANULAR BACKFILL MATERIAL SHALL BE REAL ACCEPTABLE TYPE (-4 (PERVIOUS FILL, CLEAN SAND, GRAVEL, OR STONE) DEFINED FROM DRY SOURCED AND SHALL BE FREE FROM STUMPS, ROOTS, WEEDS, POSTS, RUBBISH, WOOD AND OTHER MATERIAL THAT MAY DECAY. EXCAVATION SHALL CONFORM TO TABLE 300-1.3, FOR TYPE 1-4 IN ARTICLE 300.1.3 OF THE (N.J.A.C.) NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN THICKNESS (12") INCH LIFTS.
8. THE BOLTS SHALL BE STAINLESS QUALITY (1/4") INCH DIAMETER MACHINED STEEL BARS. NOSE BOLTS SHALL HAVE A MINIMUM YIELD STRESS OF 36,000 PSI.
9. COUPLINGS SHALL BE DRESSER STYLE NUMBER 153 FOR PIPE SIZES THROUGH (24") INCH DIAMETER. FOR LARGER DIAMETER PIPE, DRESSER STYLE NUMBER 38 STEEL COUPLINGS SHALL BE USED.
10. SHEETING, BRACING AND BRACING SHALL BE CLOSED VERTICAL SHEETING, TONGUE AND GROOVE WHICH IS TIGHTER TO PREVENT THE LOSS OF FOUNDATION. ALL LABOR, EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.

   MATERIALS FOR SHEETING SHALL BE TONGUE AND GROOVE WOODEN PLANKS AND TIMBER OR STEEL CONFORMING TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. THERE SHALL BE A MINIMUM OF 3" THICK.

   SHEETING SHALL BE LEFT IN PLACE. BRACING AND BRACING SHALL BE REMOVED.
11. WHEN WORK FOUNDATION CUSHION SHALL BE PLACED IN BADE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DEEMED THE SOIL CONDITIONS UNSTABLE. BRINGER STONE SHALL CONFORM TO ARTICLE 901.03 OF THE STANDARD SPECIFICATIONS AS REFERENCED ABOVE. THE USE OF BRINGER STONE SHALL BE AS MAKING ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2, 4, 6, OR 8 AS SHOWN IN TABLE 901-1, REFERENCED BASED OF CURRENT ACCEPTABLE OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
12. PILES CLOSE SHALL BE PLACED IN BADE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DEEMED THE SOIL CONDITIONS UNSTABLE.
13. AFTER THE ENGINEER HAS INSPECTED THE COMPLETED INSTALLATION OF VALVES, AND WATER MAIN, AND BEFORE BACKFILLING THE EXCAVATION, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESSURE TEST THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5 X THE WORKING PRESSURE FOR A PERIOD OF TWO (2) HOURS. THERE SHALL BE NO PRESSURE DROP IN ANY MANUFACTURED PIPE SECTION OF THE PIPE. SHALL BE FILLED WITH WATER TO ONCE, AND THE TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE ENGINEER. BEFORE APPLYING THE TEST PRESSURE, AND SHALL BE CIRCULATED COMPLETELY FROM THE PIPE. BY INSTALLING TEMPORARY STOPS AT SUCH POINTS AS THAT THE AIR CAN BE EXPELLED OR THE LINE CAN BE FILLED WITH WATER. IF THE JOINTS LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE. TESTING SHALL BE IN CONFORMANCE WITH A.W.W.A. STANDARD C600-77.
14. THE CONTRACTOR SHALL DISINFECT ALL WATER MAINS IN ACCORDANCE WITH A.W.W.A. STANDARD FOR "DISINFECTING WATER MAINS" DESIGNATION C-651. CHLORINATION, PRODUCTS SUCH AS "HTH", "PERCHLORON", AND "HYPOCHLORITE" MAY BE USED IN PLACE OF CHLORINE GAS. PRIOR TO BEING PLACED IN THE DISTRIBUTION OF WATER MAINS.

   THE CHLORINE DOSAGE SHALL INITIALLY PRODUCE 25 PPM RESIDUAL TO THE WATER AND MAINTAIN A MINIMUM RESIDUAL OF 25 PPM AFTER 24 HOURS. AFTER SATISFACTORY COMPLETION OF THE TEST SECTION, THE LINE SHALL BE CONTINUOUSLY FLUSHED UNTIL THE RESULTANT CHLORINE RESIDUAL REMAINS EQUAL TO THE PRE-FLUSH RESIDUAL OF THE SYSTEM. CHLORINATION SHALL BE CONTINUED UNTIL THE WATER HAS BEEN PLACED IN SERVICE. SUPPLY SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
15. THE RELEASE VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
16. ALL WATER MAINS SHALL BE AT LEAST 18" IN DIAMETER. NO (2") AND 1" DIAMETER MAINS SHALL NOT BE USED.
17. SINGLE BUCKLE AND THE BOOS SHALL BE MADE SMALL BE AT REMOVE AND FITTINGS.
18. ALL FIRE HYDRANTS SHALL BE TWO (2) PIECE "JERSEY CITY STANDARD" HYDRANTS, WHEN DIRECTING USA FOR NEW YORK STILL BY SMITH FIRE HYDRANT SERVICE MANUFACTURED BY AS PER FOLLOWING COMPANY, EAST PENN, STREET, BURLINGTON, NEW JERSEY 08016. PHONE 1-800-257-9026.
19. FOR OTHER NEW CONSTRUCTION OR RELOCATION OF THE FOLLOWING SHALL BE REQUIRED:

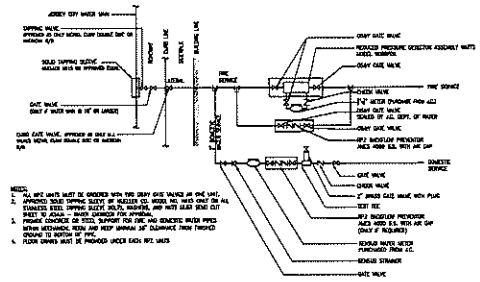
   A. FIRE HYDRANT SPACING SHALL BE A MAXIMUM OF 300 FEET BETWEEN CENTER TO CENTER.
   B. HYDRANTS SHALL BE LOCATED AT CORNERS OR ADJACENT TO CORNERS OR CLOSE TO INTERSECTIONS.
   C. ALL THE PIECE FIRE HYDRANT SHALL BE REQUIRED AND NOT DELIVERED TO JERSEY CITY MAIN AUTHORIZED AGENT. THE PIECE FIRE HYDRANT SHALL BE REQUIRED AFTER JERSEY CITY WATER BUREAU OF ENGINEERING AFTER INSPECTION. WORK ON CONSTRUCTION OF FIRE HYDRANT. ALL BE SUPPLIED BY JOHNS OF AUTHORIZED AGENTS FOR INSTALLATION FOR APPROVED PROJECT.
   D. THE FIRE HYDRANTS SHALL BE CLOSER THAN TEN (10') FEET FROM THE EDGE OF A PERMANENT OR (OR?) FEET FROM THE EDGE OF A TEMPORARY. IN THE CASE WHERE HYDRANTS ARE EXPOSED OR NEAR VEHICULAR TRAFFIC, THE OPENING SHALL BE PERPENDICULAR TO THE DIRECTION OF THE ENGINEER HYDRANTS FROM REQUIREMENTS AND PROVISIONS.
   E. ALL SHALL BEEN APPROVED ON (1") INCH OR LARGER MAINS SHALL REQUIRE A NEW VALVE AT THE BASE OF THE REQUIRED HYDRANT.
   F. NEW GATE VALVES AND BOXES ARE REQUIRED AT THE BASE OF RELOCATED HYDRANTS WHICH MORE THAN (10') FEET OF PIPE IS REQUIRED.
20. EXISTING WATER SERVICE LINES SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICES. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL INSPECT AND VERIFY THE ABANDONED SERVICES.
21. WATER MAINS TO BE ABANDONED SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, NOTE AND CONCRETE AS CLOSE TO THE EXISTING MAIN IN SERVICE AS POSSIBLE.
22. ALL VALVES SHALL BE OPERATED BY JERSEY CITY MAIN OR AUTHORIZED AGENTS PERSONNEL. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, TWO (2) DAYS IN ADVANCE OF HIS OPERATING REQUIREMENTS.
23. FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS WILL RESULT IN THE IMMEDIATE SHUTDOWN OF THE PROJECT.

REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATION

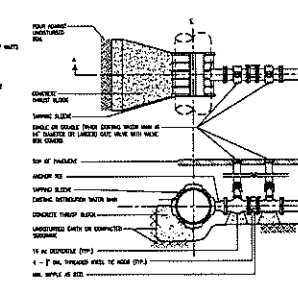
1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JOHNS BUREAU OF WATER ENGINEERING FOR APPROVAL. TWO (2) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR REGISTERED APPRENTICE DESIGNED TO PRACTICE IN NEW JERSEY.
2. SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES. INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREET WITH WHERE MAIN, SERVICE, AND METERS INDICATED. ALSO INCLUDED SHALL BE A NOTE MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
3. INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF MAIN, LOCATION OF TAPPING AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY REQUIRED THE WATER SERVICE (I.E. HOSPITAL, WAREHOUSE, APARTMENTS BUILDING, ETC.)
4. ALL CROSSING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN. IN ACCORDANCE WITH JOHNS STANDARDS, AND REMOVED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE NUMBER OF (INC (1)) TAP SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MINIMUM OF (INC (1)) BUT SHOULD NOT EXCEED THE SIZE OF THE WATER MAIN. NO TAPPING SHALL BE DONE OUT EXCEPT BY CERTIFIED WATER JERSEY CITY (WAGC) UNLESS SPECIFICALLY APPROVED BY JOHNS.
5. ONLY ONE DOMESTIC/FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL OTHER SERVICE CONNECTIONS (DOMESTIC OR FIRE) AFTER DOMESTIC WATER SERVICE METER. THERE IS NONE THEN ONE JOHNS/WATER FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED FOR THE FACILITY.
6. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL (PER TEST REPORT TO ISO9 F13) FOR ALL TAPS 3-INCHES AND LARGER. THE TAPPING SLEEVE SHALL HAVE PRESSURE TESTING BASED ON AWWA STANDARD REPORTS 1/P 3 MAXC.
7. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT: A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED BOXES. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE NUT SIZE TAP IS 1.5 INCHES SHALL BE PERFORMED BY JAWC.
8. FOR TAPS OFF MAINS BETWEEN (10) INCHES AND LARGER, THE CONTRACTOR SHALL TAPPING AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, AND SPECIAL WAIVER APPROVAL IS ISSUED BY THE JOHNS.
9. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE CONTRACTOR. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL SUPPLY VALVES/STOPS REQUIREMENTS OF DUCT REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED COMPANION VALVES/ STOPS SHALL BE USED AS THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.
10. ALL SERVICE PIPES, MAINS 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 200 PSI. CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS.
11. THE APPLICANT SHALL INSTALL THE METERS INSIDE THE BUILDING, IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN. THE APPLICANT SHALL PLACE THE METER IN A PIT PLAN THE LEDGEMAN OR STREET IN CLOSE PROXIMITY TO THE TAP.
12. FOR A REQUIRED FIRE SUPPRESSION SYSTEM, A CONTROLLED REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) MUST BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER ON THE SERVICE (INC) INCHES OR MORE THAN. ON THE LARGER FIRE SUPPRESSION SYSTEM A FIRE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE DIRECT TRANSDUCER SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER (RPDA ONLY) SHALL BE INSTALLED DOWNSTREAM OF THE DETECTOR. ALL FIRE SERVICES LARGER THAN SMALL VALVES INSTALLED. THE FIRE LINE SHALL BE FURNISHED WITH A 5/8 INCH X INCH METERED BYPASS. BYPASSES REDUCE SMALL BE JERSEY CITY STANDARD TWELVE (12) INCHES BYPASS METER WITH FLUSHING AND WHEN BACK CONNECTION. THE FIRING RING AND FIRE MAIN SHALL BE ALSO A DOMESTIC AND FIRE SERVICE.
13. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (RPDA) HARDOS ON WATER MAINS IS REQUIRED WHEN THE JOHNS DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A DIRECT OR IND. DATA DISTRIBUTION WITHIN WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUB CODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY STATE DRINKING WATER ACT NJAC 7:10-12 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL. IN ESTABLISHMENT, SOME SERVICES, WHICH REQUIRE BOOS SERVICES INCLUDE, A HOSPITAL, SCHOOL, CHURCH, PLANT, FACTORY, AND A FACILITY WITH SOME LEGITIMATE.
14. IF A REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQUIRED ON THE DOMESTIC SERVICE, A DOUBLE VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.
15. ALL METER SIZES 2 INCHES THROUGH 4 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 6 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MAGNETIC METERS.
16. ALL METERS SHALL BE ACCURATELY PERFORMED WITH MECHAL BRANCHES PARTICIPATE TO THE CLOSER ON WALL OR OTHER APPROVED HOUSE SUCH AS UNATTACHED GARAGE. REGIONAL PIPE PROBLEMS AND FLOW MEASURE SUCH RESTRAINTS. METERS DETECTION CHECKS AND MACHES MUST BE SEALED ON CONCRETE BLOCKS AND SUPPORTED TRIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 18" ABOVE FLOOR GRADE.
17. ALL METER INSTALLATIONS IN HOUSE PIT OR VAULT SHALL BE PRE-APPROVED BY JOHNS AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND MAINTENANCE.
18. CHECK COMPANIES WATER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JOHNS OR ITS AUTHORIZED AGENT.
19. ALL METERS 2" AND LARGER SHALL BE FURNISHED WITH SERIES COUNTER REMOTE TOUCH PAD MODULES AND HARD WIRE UNITS FOR BOTH TYPES OF RESIDENT CONSUMERS.
20. REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER RECEIVER UTILIZING A CAT-5 CAP FOR INTERNET SERVICE OF ALL TERMINAL CONNECTIONS. TOUCH PADS MUST BE WALL MOUNTED ON LAB MOUNTED WHERE A METER MAY BE UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL PAINTED THE STREET AND LOCATED AS SHOWN ON PROVIDED PLANS. THE SAME WIRE UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LANYRIDE TO BE INSTALLED IN PROXIMITY TO STACK.
21. ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
22. ALL HOUSE INCLUDING TRUCK PAD MODULES, AND RADIO WIRE UNITS SHALL BE FURNISHED THROUGH THE PERMIT CLERK AT JOHNS OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
23. AFTER OBTAINING THE REQUIRED PERMITS (DIRECT DRINKING TAP, AND METER) THE APPLICANT SHALL CALL JOHNS AT (201) 339-1310 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND REPORTED BY JOHNS OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHORING AND SAFETY.
24. UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS TO THE JOHNS BUREAU OF WATER ENGINEERING. THE JOHNS WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS.

* SPECIFIED MODEL OR APPROVED EQUAL.

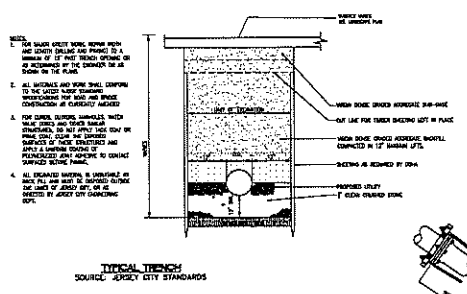
JOHNS REVISED JUNE 28, 2006



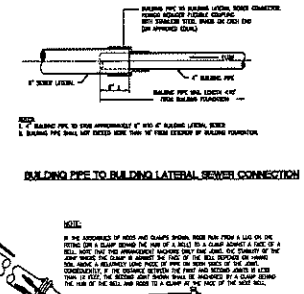
COMBINED WATER SYSTEM
SOURCE: JERSEY CITY STANDARD DETAIL

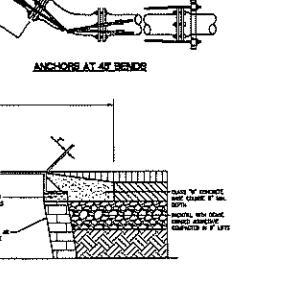


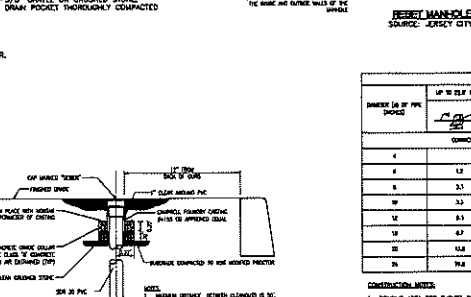
WATER MAIN CONNECTION



TYPICAL TRENCH
SOURCE: JERSEY CITY STANDARDS

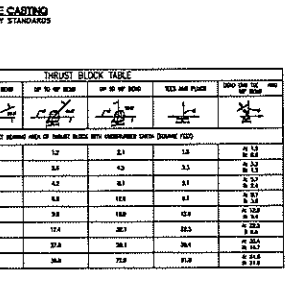




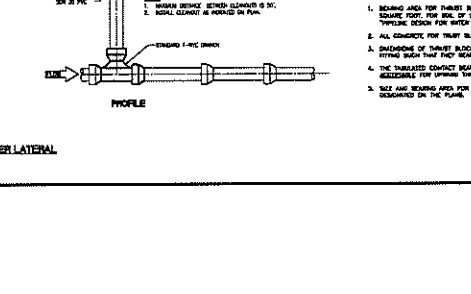


NOTE:
1. DOUBLE GATE VALVE REQUIRED WHEN EXISTING WATER MAIN IS 16" DIAMETER OR LARGER.

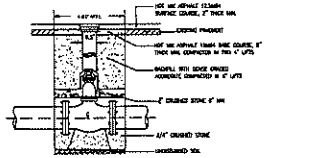
FIRE HYDRANT
SOURCE: JERSEY CITY STANDARD DETAIL



REGULAR MANHOLE CASTING
SOURCE: JERSEY CITY STANDARDS

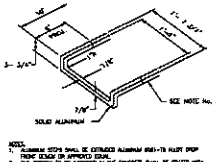


DEWEER LATERAL



NOTES:
1. BOXES SHALL BE JERSEY CITY STANDARDS MANUFACTURED BY BANNING & TAYLOR PATTERN NO. 55001 AND SHALL BE A THREE PIECE ADJUSTABLE SCREW TYPE WITH THE WORD "WATER" CAST IN THE COVER OR APPROVED EQUAL (DC 163)
2. BOX MUST BE PLUMB AND CENTERED OVER VALVE.
3. BOX MUST NOT BEAR ON VALVE TOOL, PIPE OR SLEEVE
4. WATERMAIN BOX SECTIONS MAY BE REQUIRED ON DEEP VALVE DISTANCE

WATER MAIN VALVE AND BOX



NOTES:
1. ALUMINUM STEPS SHALL BE EXTRUDED ALUMINUM 6061-T6 ALLOY DROP FROM SCHEDULE (OR APPROVED EQUAL.
2. THE PORTION TO BE EMBEDDED IN THE CONCRETE SHALL BE COATED WITH COAL TAR EPOXY OR OTHER APPROVED MATERIAL AND SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS (2" MINIMUM EMBEDMENT)
3. ALL MINIMUM WIDTH TO MEET OSHA STANDARDS AND O.S.H.A. REQUIREMENTS.
4. FOR ROADWAY LOCATIONS STEPS SHALL BE ORIENTED TO ALLOW MOUNTING OF ENGINEERS TRAFFIC TRACK DEVICE STRUCTURE.

ALUMINUM STEP

THRUST BLOCK TABLE

DIAMETER (IN) OF PIPE (INCHES)	UP TO 22.5° BEND	UP TO 45° BEND	UP TO 90° BEND	TEES AND PLUGS	DEAD END THRUST BLOCK
	A	B	A	B	A	B
4	1.2	1.2	2.1	1.8	A 1.3 B 0.8
6	1.2	1.5	4.3	3.5	A 3.3 B 1.3
8	2.1	4.2	8.3	5.1	A 5.7 B 2.1
10	3.3	6.6	12.8	8.1	A 8.1 B 3.8
12	4.1	9.0	18.0	12.0	A 10.8 B 5.0
14	4.7	12.4	22.7	15.3	A 13.3 B 6.6
20	6.8	27.0	38.1	30.4	A 30.4 B 14.3
24	9.8	36.0	72.0	41.0	A 41.0 B 21.0

CONCRETE BEARING AREA OF THRUST BLOCK WITH UNDISTURBED EARTH (SQUARE FEET)

CONSTRUCTION NOTES:
1. BEARING AREA FOR THRUST BLOCKS ARE BASED ON THE UNDISTURBED SOIL WITH BEARING CAPACITY OF 1000 LBS. PER SQUARE FOOT. FOR BOX OF LESS BEARING CAPACITY THE AREAS SHALL BE ADJUSTED ACCORDINGLY (FIGURE 14, ASCE "PIPELINE DESIGN FOR WATER AND WASTEWATER, 1975")
2. ALL CONCRETE FOR THRUST BLOCKS SHALL BE NJDOT, CLASS C.
3. DIMENSIONS OF THRUST BLOCKS SHALL BE APPROXIMATELY REQUIRED, AND THE THRUST BLOCKS SHALL BE POURED FROM FITTING SUCH THAT THEY BEAR ON THE UNDISTURBED WALL OF THE TRENCH.
4. THE TABULATED CONTACT BEARING AREAS LISTED ARE FOR HORIZONTAL AND DOWNWARD THRUST ONLY, AND ARE NOT ACCEPTABLE FOR UPWARD THRUST.
5. SIZE AND BEARING AREA FOR THRUST BLOCKS SHALL CONFORM TO "CLARKSON AWWA STANDARDS" AND SHALL BE DESIGNATED ON THE PLANS.

THRUST BLOCKS
SOURCE: JERSEY CITY STANDARD DETAIL

DRESDNER ROBIN

DRESDNER ROBIN ENVIRONMENTAL MANAGEMENT INC.
1 EVERTRUST PLAZA, SUITE 801, JERSEY CITY, NJ 07302
TEL: 201.217.9200 FAX: 201.217.9207
RECEIPT/REVIEW AUTHORIZATION: DAGETTEDRAW
JERSEY CITY 4 HOUSEFIELD 5 NORTH PARK 6 CHERRY HILL

NO.	DATE	DESCRIPTION	BY
		REVISIONS	

OWNER:
CITY OF JERSEY CITY
280 GROVE STREET
JERSEY CITY, NJ 07302

APPLICANT:
EXCHANGE PLACE ALLIANCE SPECIAL IMPROVEMENTS DISTRICT
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311

MATTHEW J. NEULS
PROFESSIONAL ENGINEER
NJ LICENSE NUMBER 24GE04031300

DRAWING TITLE:
CONSTRUCTION DETAILS II

PROJECT:
EXCHANGE PLACE PLAZA IMPROVEMENTS

LOCATION:
EXCHANGE PLACE
CITY OF JERSEY CITY
HUDSON COUNTY,
NEW JERSEY, 07302

DRAWN BY	CHECKED BY	DRAWING NO.
CW/GRG	MJN	C-902
SCALE: N.T.S.	DATE: 08-14-2022	
JOB NO. 20491-006		SHEET 08 OF 08

NOT FOR CONSTRUCTION

Exhibit F

PRELIMINARY/FINAL SITE PLAN

EXCHANGE PLACE IMPROVEMENTS

[illegible]

CITY OF [illegible]

DEVELOPER:

[illegible]

Document properties

File name:	[illegible]
File size:	[illegible]
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Author:	[illegible]
Subject:	[illegible]
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Fast web view:	[illegible]

Close

Exhibit G

EXCHANGE PLACE

JERSEY CITY, NEW JERSEY

LANDSCAPE ARCHITECTURE PLANS

MELILLO+BAUER ASSOCIATES
Landscape Architecture

OWNER
CITY OF JERSEY CITY
280 GROVE ST.
JERSEY CITY, NJ 07302
PHONE (201) 547-5000

DEVELOPER
EXCHANGE PLACE ALLIANCE
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311
PHONE (201) 916-4200

DEVELOPER'S REP
SJP PROPERTIES
95 GREEN ST.
JERSEY CITY, NJ 07302
PHONE (201) 333-1122

LANDSCAPE ARCHITECT
MELILLO + BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE
200 UNION AVENUE
BERLLE, NEW JERSEY 08730
(732) 528-0664

CIVIL ENGINEER
DRESDNER ROBIN
1 EVERTRUST PLAZA, SUITE 901
JERSEY CITY, NJ 07302
(201) 217-9200

STRUCTURAL ENGINEER
THORNTON TOMASETTI
51 MADISON AVENUE
NEW YORK, NY 10010
(917) 661-7800

LIGHTING CONSULTANTS
BEAM LTD
428 WEST WAVERLY ROAD
GLENSIDE, PA, 19038
(215) 508 0900

ENVIRONMENTAL GRAPHICS
LEVERAGE DESIGN GROUP
(617) 970 7195

GEOTECHNICAL ENGINEER
MUESER RUTLEDGE CONSULTING ENGINEERS
14 PENN PLAZA
225 WEST 34TH STREET
NEW YORK, NY 10122
(917) 339-9300

SUBMISSION

Project: Exchange Place (16-149)

DRAWING LIST		DATE	STATUS
L-0	Cover Sheet	4/14/2022	Submission Set
L-1	Overall Site Plan	4/14/2022	Submission Set
L-2	Enlargement Site Plan - Materials	4/14/2022	Submission Set
L-3	Enlargement Site Plan - Materials	4/14/2022	Submission Set
L-4	Enlargement Site Plan - Materials	4/14/2022	Submission Set
L-5	Overall Landscape Plan	4/14/2022	Submission Set
L-6	Enlargement Landscape Plan - Planting	4/14/2022	Submission Set
L-7	Enlargement Landscape Plan - Planting	4/14/2022	Submission Set
L-8	Enlargement Landscape Plan - Planting	4/14/2022	Submission Set
L-9	Site Details	4/14/2022	Submission Set
L-10	Site Details	4/14/2022	Submission Set
L-11	Site Details	4/14/2022	Submission Set
L-12	Site Details	4/14/2022	Submission Set
L-13	Site Details	4/14/2022	Submission Set
L-14	Site Details	4/14/2022	Submission Set
L-15	Site Details	4/14/2022	Submission Set
L-16	Planting Details & Notes	4/14/2022	Submission Set
L-17	Planting Specifications	4/14/2022	Submission Set

GENERAL NOTES:

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.

2. ALL GRADING SHALL BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION AND SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER.

3. ALL PAVING SURFACES SHALL BE FLUSH AND MEET SMOOTHLY AND EVENLY. NO WALKS SHALL EXCEED 5% OR A 2% CROSS-PITCH. ALL WALKS TO BE LAID OUT IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.

4. ALL SITE DETAILS SHALL BE REVIEWED AND SUPPLEMENTED BY THE CIVIL ENGINEER (DRESDNER ROBIN) AND STRUCTURAL ENGINEER (THORNTON TOMASETTI). REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.

5. ALL PLANTED AREAS SHALL BE IRRIGATED WITH DRIP IRRIGATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS.

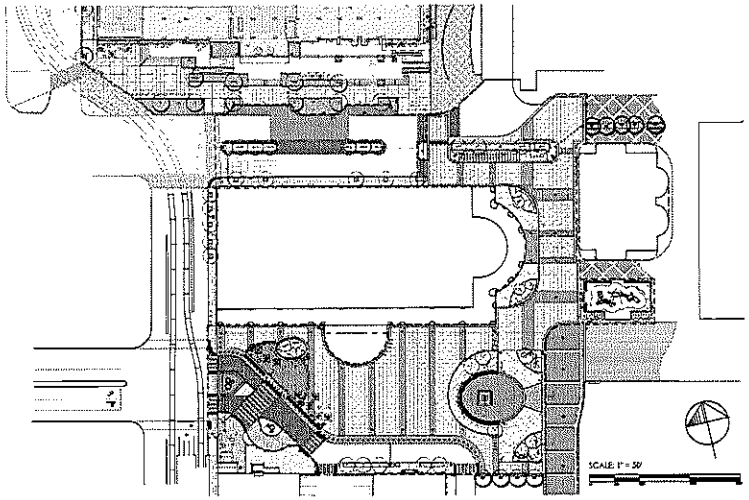
6. ALL PLANT MATERIAL/LANDSCAPE MATERIALS SUBSTITUTIONS SHALL BE APPROVED BY THE LA/OWNERS REPRESENTATIVES.

7. ALL BASE INFORMATION WAS TAKEN FROM DRESDNER ROBIN ENGINEERING.

8. ALL SITE IMPROVEMENTS SHALL BE INSTALLED/PERFORMED IN COMPLIANCE WITH ANY REQUIREMENTS SET FORTH BY THE PROJECT LSRP, (INCLUDING BY NOT LIMITED TO A DEMARCATION LAYER ABOVE HISTORIC FILL AND REQUIRED DEPTHS OF CERTIFIED CLEAN FILL/SOIL.)

9. CONTRACTOR SHALL WORK WITH EXCHANGE PLACE ALLIANCE AND CITY ENGINEER TO DEVELOP A PLAN TO PROTECT THE EXISTING MONUMENT DURING CONSTRUCTION.

10. CONTRACTOR SHALL COORDINATE WITH EXCHANGE PLACE ALLIANCE AND ENVIRONMENTAL GRAPHIC CONSULTANT REGARDING ANY SIGNAGE, GRAPHICS, AND OR CITY POST INFORMATIONAL SIGNS.



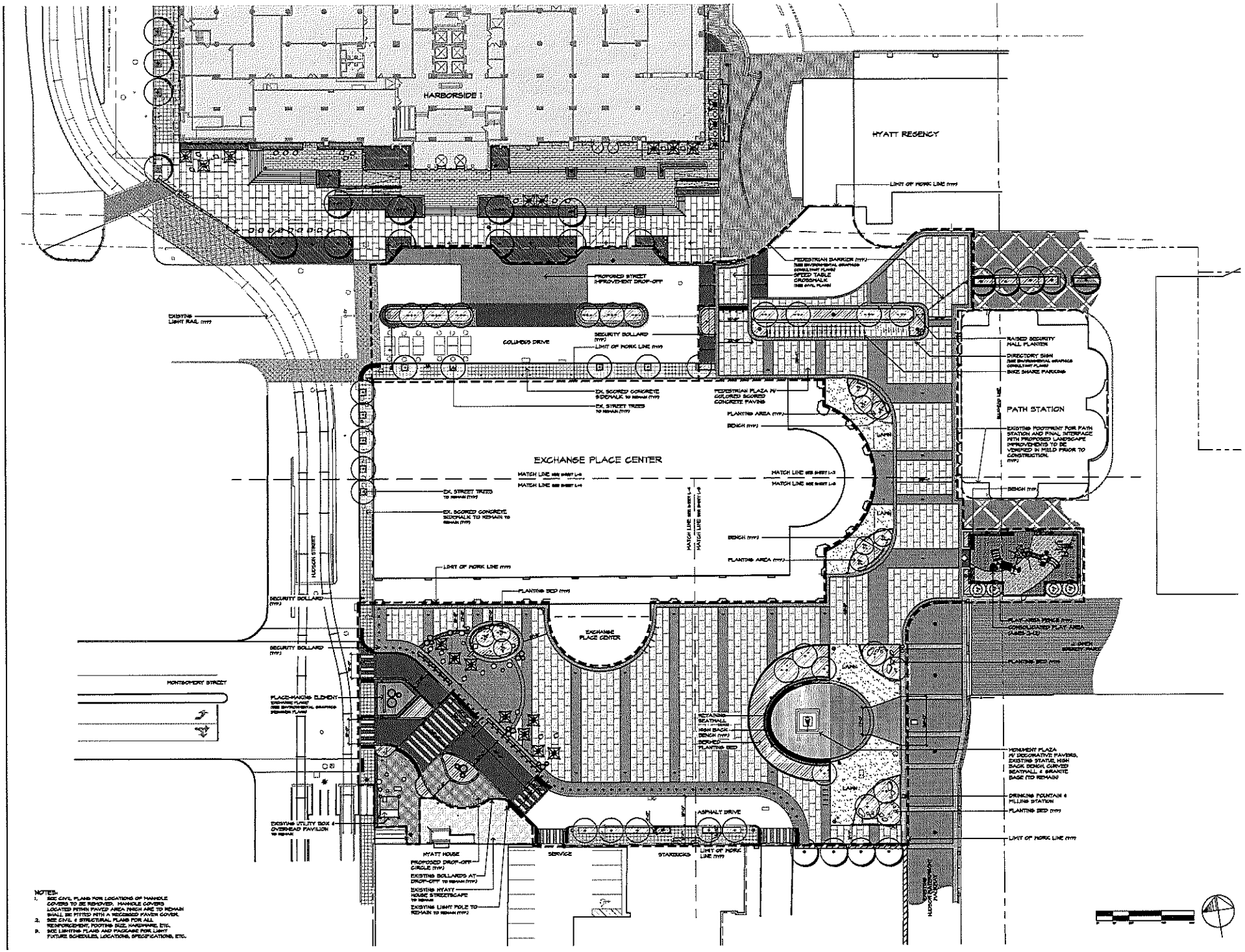
4/14/2022 Project: Exchange Place Project # 16-149

Materials

Key	Detail	Material	Color/Finish	Manufacturer
A1 A2	3/L-9 3/L-9	3"x9" Paver Brick Pilasters Paver Band	Color A (50%): Charcoal (A3) Finish: Tudor Finish Color Color B (50%): Super Black (A2) Finish: Tudor Finish	Hanover Architectural Products Phone: 717 637 0800
G1	3/L-9	4x12 Concrete Paver	Color: Limestone Gray Finish: Tudor Finish	Hanover Architectural Products Phone: 717 637 0800
C3	4/L-9	Detectable Warning Paver	Color: Charcoal Finish: Natural Finish	Hanover Architectural Products Phone: 717 637 0800
D1 D2	5/L-9	Colored Concrete Pavement	Color A: Charcoal (C1) Color B: Cool Gray (C2) Finish: Light Broom	L.M. Scofield Phone: 1800 800 9900
E1, E2	6/L-9	4"x8" Vehicular Paver	Model: Hanover Pavé Brick Color 1: Traditional Charcoal (E1) Color 2: Traditional Natural (E2) Finish: Natural Finish	Hanover Architectural Products Phone: 717 637 0800
F1	7/L-9	Colored Concrete Curb	Color: Cool Gray Finish: Light Broom	L.M. Scofield Phone: 1800 800 9900
G3	7/L-9 8/L-9	Security Bollard: Shallow Fixed	Model: POP1000SDMF Color: Stainless Steel / Finish: T316	Cal Pipe Security Bollards Phone: 877 283 8518 (see Note #5)
G2	1/L-15	Security Bollard: Super Shallow Fixed	Model: POP1000SDMF Color: Stainless Steel / Finish: T316	Cal Pipe Security Bollards Phone: 877 283 8518 (see Note #5)
H1	9/L-9	Security Bollard: Automated Retractable	Model: LRPA0800X Color: Stainless Steel / Finish: T316	Cal Pipe Security Bollards Phone: 877 283 8518 (see Note #5)
I1	2/L-10	Retaining Wall**	Color: Cool Gray Finish: Grade 3 (Salt and Pepper)	L.M. Scofield Phone: 1800 800 9900
J1 J2	5/L-10	Precast Sculptural Seating	Color: Mix #301 (J1 - Small) Color: Mix #302M (J2 - Large)	Sun Precast Phone: 570 658 3000
K1	1/L-11	Internally Lit Wood Top Curved Seat Wall* @ Seating Oval: Bench "A"	Model: Rough & Ready Front Panel: Anthracite Grey (RAL 7016) Rear Panel: Telegraph 1 (RAL 7045) Wood Top: Ipe / Finish: Lauro	Street Life Phone: 215 247 0148
L1	2/L-11	Internally Lit Wood Top Curved Seat Wall* @ Curved Seating: Bench "B"	Model: Rough & Ready Front Panel: Anthracite Grey (RAL 7016) Rear Panel: Telegraph 1 (RAL 7045) Wood Top: Ipe / Finish: Lauro	Street Life Phone: 215 247 0148
M1	3/L-11	Wood Top Straight Seat Wall*: Bench "C"	Model: Rough & Ready Front Panel: Telegraph 1 (RAL 7045) Rear Panel: Spring Green (RAL 6038) Wood Top: Ipe / Finish: Lauro	Street Life Phone: 215 247 0148
N1	5/L-11	Landscape Compact Bench	Model: Landscape Compact Bench Wood Color: Jatoba (Natural) Metal Color: Anthracite Grey (RAL 7016)	Hitachi 609 751 0363
O1	1/L-12	Pedestrian Barrier: Decorative Panel*	Model: Shattered (ST8) Mounting Clips: #B1-300 Color: Black Powder	Paramount 303 589 4524
P1	2/L-12	Planter Barrier	Model: Clyde Barrier Color: Black Finish: Powder Coat	Greenblue Urban 866 282 2743
Q1	3/L-12	Play Area Fence	Model: B-1 Color: Black Finish: Powder Coat	Ameno Ornamental Iron Work 732 908 7200
R1	4/L-12	Round Fiberglass Tree Planter	Model: Matrix M6048 Color: Anthracite Finish: Matte	Old Town Fiberglass 310 333 3865
R2	2/L-15	Rectangular Precast Planter	Model: Delta Rectangle 60 Size: 55"x22"x24" Color: Anthracite Finish: Matte	Greenform, LLC 714 633 3732
R3	3/L-15	Round Precast Planter	Model: Delta Round 60 Size "A": 30" dia. x 18" ht. Size "B": 27" dia. x 18" ht. Color: Anthracite Finish: Matte	Greenform, LLC 714 633 3732
S4	4/L-15	Sculptural Planter	Model: Dune Size "A": 30" dia. x 23" ht. Size "B": 60" dia. x 40" ht. Size "C": 72" dia. x 23" ht. Color: Graphite Finish: Sandblasted	Kornegay Design 877 250 0353
S1, S2	5/L-12	Safety Surfacing	Model: Poor In Place (P I P) Rubber Color 1: Teal (S1) Color 2: Royal Blue (S2) Finish: Alphalit Lithium Finish (for both)	Surface America 800 996 0555
T1	6/L-12	Bike Rack	Model: FGP Bike Rack Color: Silver Finish: Metal-Polyester Powder Coat	Landscape Forms 908 246 0477
U1	7/L-12	Bottle Filling Station & Dog Fountain	Model: 50153SM Color: Textured Sapphire Finish: Powder Coat	Most Dependable Fountains 901 867 0059
V1	8/L-12	Trash Receptacle	Model: Dispatch Color: Silver Finish: Powder Coat	Forms + Surfaces 267 449 3937
W1	1/L-14	2-12 Play Equipment*	Model: Age 2-12, X-Series, Custom Equipment Plastic Colors: Spring Green and Sky Blue Metal Colors: Spring Green (RAL 6038), Sky Blue (RAL 5015), and Metallic (PM H743M0025)	Gametime 732 781 9234
X1	5/L-11	Modular Precast Retaining Seatwall	Model: Big Block Bronze 3RH - 34, Deep Size: 24" X 48" X 18" ht. Universal Flat Cap: 26"x48"x2"ht. Note: Use Corner Blocks at wall ends Color: TBD	Versa-Lock 651 770 2166

Notes:

1. *All colors and finishes subject to final approval by landscape architect and ownership upon review of physical samples.*
2. *All wood finishes specified above for furniture will turn gray in color once weathered.*
3. *"Long lead time aspects, 3-5+ months for product production. Varies per manufacturer.*
4. *** *Contractor to provide color/finish mock-up to landscape architect and ownership prior to installation*
5. *** *ALL Security Bollards: Contractor shall provide a minimum of two alternate, equal products over for comparative pricing and fabrication and cut/process submittals for review by Ownership and the Design Team.*



NOTES:

1. SEE CIVIL PLANS FOR LOCATIONS OF MANHOLE COVERS TO BE REMOVED. MANHOLE COVERS LOCATED WITHIN PAVED AREA WHICH ARE TO REMAIN SHALL BE FITTED WITH A RECESSED PAVER COVER.
2. SEE CIVIL & STRUCTURAL PLANS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
3. SEE LIGHTING PLANS AND PACKAGE FOR LIGHT FIXTURE SCHEDULES, LOCATIONS, SPECIFICATIONS, ETC.

Overall Site Landscape Plan

Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

200 Union Avenue
Rahway, New Jersey 07065
T 732.388.9444
F 732.388.1077
www.melillo+bauer.com

THOMAS J. LUCKMAN
N.J. LICENSED LANDSCAPE ARCHITECT
#AS06774

NO.	DATE	REVISION

SCALE: 1"=30'-0"
DATE: 06-14-2022 | CAD NO.: 16.148

DRAWING NO.
L-1

HARBORSIDE I

HYATT REGENCY

LIMIT OF WORK LINE (TYP)

5'X8" PRESST BRICK PLANKSTONE PAVER BAND (TYP)

COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "A" | PATTERN: AS SHOWN

K-12 RATED SECURITY BOLLARD WITH SUPER SHALLOW FOOTING (TYP OF 4)

PEDESTRIAN BARRIER AT K-12 BOLLARDS (TYP) SEE ENVIRONMENTAL GRAPHICS CONSULTANT PLANS

DIGITAL DIRECTORY SIGN (TYP. FOR 2) SIGN BY OTHERS, DATA AND ELECTRICAL SUPPLY TO BE PROVIDED

POST TOP LIGHT (SEE LIGHTING DESIGNER PLANS)

BIKE RACK (TYP. OF 8)

3' HT. CONCRETE K-12 RATED SECURITY WALL PLANTER

RELOCATED BIKE SHARE (QTY TBD/ SO EXISTING)

EXISTING PAVING (TYP) TO REMAIN

6" WIDE FLUSH COLORED CONCRETE TERMINATION CURB (TYP)

EXISTING SHADE TREES (TYP) BEYOND DASHED LINE TO REMAIN

4"x8" VEHICULAR PAVER 'A' (TYP)

4"x8" VEHICULAR PAVER 'B' (TYP)

4"x8" DETECTABLE WARNING PAVER (TYP)

RAISED SPEED TABLE (SEE CIVIL PLANS)

EXISTING CROSSWALK PAVING TO REMAIN

COLUMBUS DRIVE

5'X8" PRESST PAVER BAND (TYP)

K-12 RATED SECURITY BOLLARD WITH SUPER SHALLOW FOOTING (TYP OF 12)

9" WIDE COLORED P.I.P. DEPRESSED CURB (TYP) SEE CIVIL PLANS

LIMIT OF PHASE 2 HARDSCAPE IMPROVEMENTS (DASHED)

NOTE: CONTRACTOR TO PROVIDE ALTERNATE PRICE TO REMOVE CONCRETE SIDEWALK BETWEEN TREE PITS AND INSTALL CONTINUOUS STRUCTURAL SOIL TRENCH (3'-0" DEPTH) LINKING TREE PIT TO TREE PIT AND REPLACING CONCRETE SIDEWALK AS REQUIRED

COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "A" | PATTERN: AS SHOWN

COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "B" | PATTERN: AS SHOWN

ROOFTOP CURVED BENCH (TYP)

PLANT BED STEEL EDGING (TYP)

EXISTING SHADE TREE (TYP. OF 4) TO BE REPLACED

LAWN

COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "A" | PATTERN: AS SHOWN

COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "B" | PATTERN: AS SHOWN

6" WIDE FLUSH COLORED CONCRETE CURB (TYP) SEE CIVIL PLAN

COLUMN LED LIGHT FIXTURE (TYP) (SEE LIGHTING DESIGNERS PLAN)

LIMIT OF WORK LINE (TYP)

EXCHANGE PLACE CENTER

KEY:

LIGHTING

SYMBOL	LABEL	FIXTURE NAME
	S1	COLUMN LED LIGHT
	S2	POST TOP LIGHT
	S3	OVERHA CLUSTER COLUMN PROJECTOR
	S4	LED STRIP LIGHT
	U1	TREE UPLIGHT

BOLLARD - STATIONARY, SHALLOW/SUPER-SHALLOW FIXED

BOLLARD - RETRACTABLE

NOTES:

1. SEE CIVIL PLANS FOR LOCATIONS OF MANHOLE COVERS TO BE REMOVED. MANHOLE COVERS LOCATED WITHIN PAVED AREA WHICH ARE TO REMAIN SHALL BE FITTED WITH A NOSEMED PAVER COVER.
2. SEE CIVIL & STRUCTURAL PLANS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
3. SEE LIGHTING PLANS AND PACKAGE FOR LIGHT FIXTURE SCHEDULES, LOCATIONS, SPECIFICATIONS, ETC.

Enlargement Landscape Plan

Materials

Exchange Place

Jersey City, NJ

MELILLO+BAUS ASSOCIATES

200 Street Avenue
Jersey City, New Jersey 07304
T 732.335.9444
F 732.335.1577
www.melillo+baus.com

SHAWN C. LANAGAN
N.J. CERTIFIED LANDSCAPE ARCHITECT
#LA00779

NO.	DATE	REVISION

SCALE: 1"=10'-0" DATE: 06/14/2021 JOB NO: 16-149

DRAWING NO

L-2

EXCHANGE PLACE CENTER

PATH STATION

5'x4" FREST PAVER BAND (TYP)
COLUMN LED LIGHT (TYP) (SEE LIGHTING DESIGNER DRAWING)
6" WIDE FLUSH COLORED CONCRETE TERMINATION CURB (TYP) SEE CIVIL PLANS
CURVED WOOD TOP BENCH 'C' (TYP)
STEEL EDGING (TYP)
COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "B" | PATTERN: AS SHOWN
COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "A" | PATTERN: AS SHOWN
PROPOSED 6" WIDE FLUSH CURB (TYP)
5'x4" FREST PAVER BAND (TYP)
LIMIT OF WORK LINE (TYP)
BIKE RACK (TYP. OF 3)
STEEL EDGING TYP.
EXISTING STATUE W/ GRANITE BASE (TO REMAIN)
SEEDED PLANTING BED
MODULAR BLOCK SEATWALL
LANDSCAPE COMPACT BENCH
BIKE RACK (TYP. OF 3)
9" WIDE COLORED P.I.P DEPRESSED CURB (TYP) (SEE CIVIL PLANS)
LAWN
ASPHALT DRIVE
STARBUCKS
CONCRETE SIDEWALK (TYP) SEE CIVIL PLANS
9" WIDE COLORED P.I.P CURB (TYP) SEE CIVIL PLANS
STRIPED CROSSWALK (TYP) SEE CIVIL PLANS
POST TOP LIGHT (TYP) (SEE LIGHTING DESIGNER PLANS)
5'x4" FREST PAVER BAND (TYP)
K-12 RATED SECURITY BOLLARD WITH SUPER SHALLOW FOOTING (TYP OF 3)
4'x6' DETECTABLE WARNING PAVER (TYP)
EXISTING UTILITY BOX
ASPHALT DRIVE SEE CIVIL PLANS
HUDSON WATERFRONT WALKWAY
6" WIDE COLORED CONCRETE CURB WITH PLAYGROUND FENCE
PLAY AREA WOOD TOP SEATING (TYP) BENCH 'D'
EXISTING PAVING (TYP) TO REMAIN
6" WIDE COLORED CONCRETE CURB
EXISTING SECURITY CALL TOWER (TO REMAIN)
FIBERGLASS TREE PLANTER AT PLAYGROUND PLANTING BED (TYP. FOR 4)
POST TOP LIGHT (TYP) (SEE LIGHTING DESIGNER DRAWING)
WASTE RECEPTACLES (TYP)
CONSOLIDATED PLAY AREA AGES 2-12
SAFETY SURFACE
J. OWEN GRUNDY PARK
EXISTING PLANTED TREEPIT TO BE REMOVED & PATCHED W/ PAVERS REMOVED FROM OTHER AREAS OF SITE (TYP. OF 3)
PROPOSED TREE (TYP)
EXISTING PAVING (TYP) TO REMAIN
EXISTING WOOD DECK (TYP) TO REMAIN
FREST PAVER BORDER (TYP) 3 COLOR BLEND | PATTERN: TO BE DEVELOPED BY L.A.
FREST PAVER FIELD (TYP) 3 COLOR BLEND | PATTERN: TO BE DEVELOPED BY L.A.
EXISTING UTILITY COVER (TYP) TO BE REMOVED / REPLACED WITH RECESSED PAVER UTILITY COVER SEE CIVIL PLANS FOR REMOVALS AND DETAILS
EX. LIGHT POLE TO REMAIN (TYP) (SEE LIGHTING DESIGNER DRAWING)
6"x12" PRECAST CONCRETE PAVERS (TYP)
STEEL EDGING TYP.
EXISTING PLANTED TREEPIT TO BE REMOVED & PATCHED W/ PAVERS REMOVED FROM OTHER AREAS OF SITE (TYP. OF 3)
DRINKING FOUNTAIN W/ BOTTLE FILLING & DOG FOUNTAIN STATION
PLANTING BED (TYP)
WASTE RECEPTACLES (TYP)
COLORED / SCORED CONCRETE FIELD (TYP) COLOR: "B" | PATTERN: AS SHOWN
LIMIT OF WORK LINE (TYP)

KEY:
LIGHTING

SYMBOL	LABEL	FIXTURE NAME
	S1	COLUMN LED LIGHT
	S2	POST TOP LIGHT
	S6	CORONA CLUSTER COLUMN PROJECTOR
	S4	LED STRIP LIGHT
	U1	TREE UPLIGHT
		BOLLARD - STATIONARY, SHALLOW/SUPER-SHALLOW FIXED
		BOLLARD - RETRACTABLE

NOTES:
1. SEE CIVIL PLANS FOR LOCATIONS OF MANHOLE COVERS TO BE REMOVED. MANHOLE COVERS LOCATED WITHIN PAVED AREA WHICH ARE TO REMAIN SHALL BE FITTED WITH A RECESSED PAVER COVER.
2. SEE CIVIL & STRUCTURAL PLANS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
3. SEE LIGHTING PLANS AND PACKAGE FOR LIGHT FIXTURE SCHEDULES, LOCATIONS, SPECIFICATIONS, ETC.

Enlargement Landscape Plan
Materials

Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

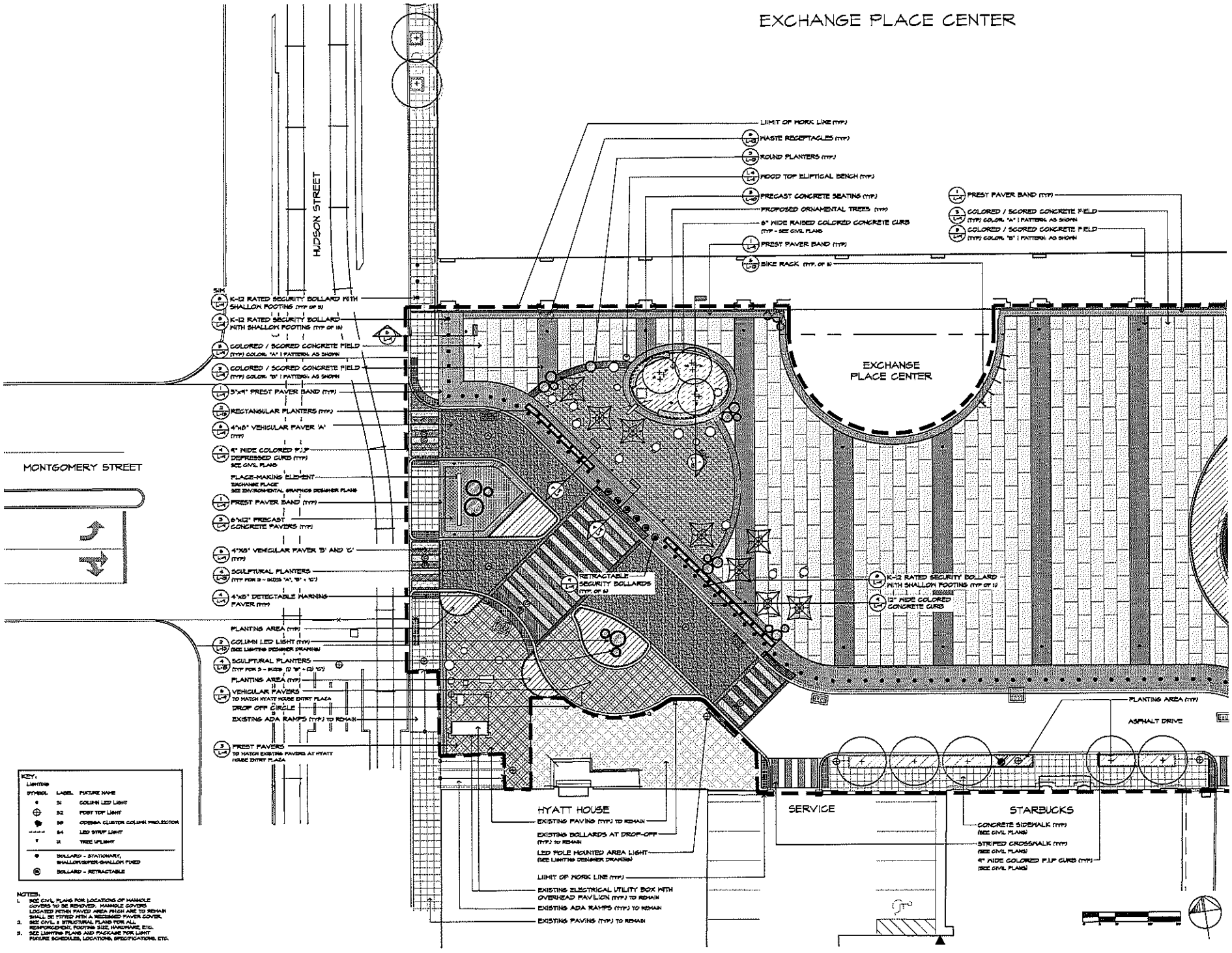
THOMAS G. MELILLO
N.J. LICENSED LANDSCAPE ARCHITECT
LA001274

NO.	DATE	REVISION

SCALE: 1"=10'-0"
DATE: 04-14-2022 JOB NO.: 16-149

DRAWING NO.: L-3

EXCHANGE PLACE CENTER



Enlargement Landscape Plan

Materials

Exchange Place

Jersey City, NJ

MELILLO • BAUER ASSOCIATES

THOMAS C. LANDER

N.J. LICENSED LANDSCAPE ARCHITECT #

NO.	DATE	REVISION

SCALE 1"=20'-0"

DATE 06/14/2023 SCP NO: 16-149

DRAWING NO.

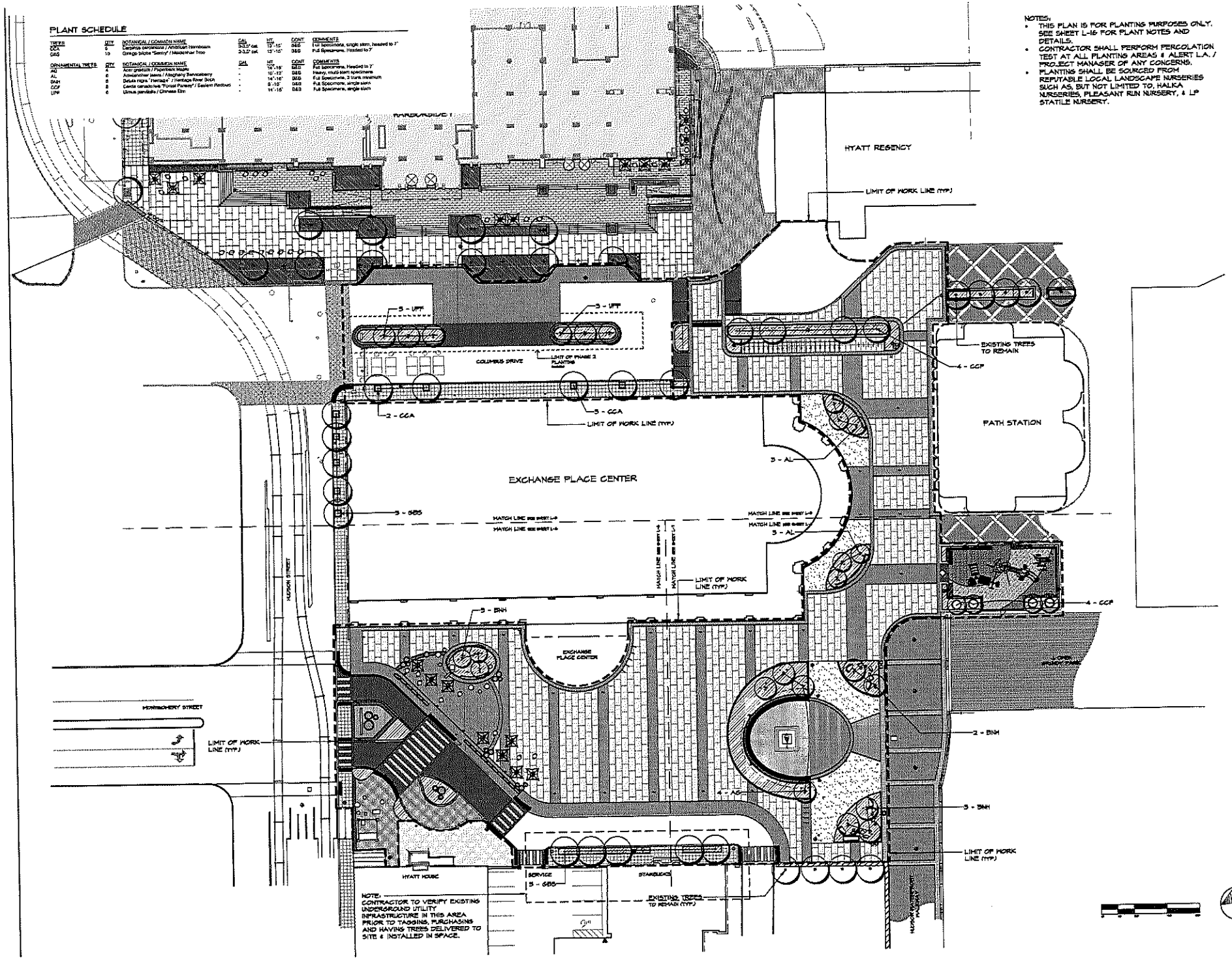
L-4

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CAL	HT	CONT	COMMENTS
CCA	9	Cercidiphyllum japonicum / American Hornbeam	3-3.5" cal.	12'-16'	B&B	Full Specimens, single stem, headed to 7'
GBS	10	Ginkgo biloba "Sentry" / Maidenhair Tree	3-3.5" cal.	12'-16'	B&B	Full Specimens, Headed to 7'

ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CAL	HT	CONT	COMMENTS
AG	4	Acer griseum / Paperbark Maple	-	12'-16'	B&B	Full Specimens, Headed to 7'
AL	6	Amelanchier laevis / Allegheny Serviceberry	-	10'-12'	B&B	Heavy, multi-stem specimens
BNH	8	Betula nigra "Heritage" / Heritage River Birch	-	14'-16'	B&B	Full Specimens, 3 trunk minimum
CCP	8	Cercis canadensis "Forest Pansey" / Eastern Redbud	-	8'-10'	B&B	Full Specimens, single stem
UPF	6	Ulmus parvifolia / Chinese Elm	-	14'-16'	B&B	Full Specimens, single stem

NOTES:
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. SEE SHEET L-16 FOR PLANT NOTES AND DETAILS.
- CONTRACTOR SHALL PERFORM PERCOLATION TEST AT ALL PLANTING AREAS & ALERT L.A. / PROJECT MANAGER OF ANY CONCERNS.
- PLANTING SHALL BE SOURCED FROM REPUTABLE LOCAL LANDSCAPE NURSERIES SUCH AS, BUT NOT LIMITED TO, HALKA NURSERIES, PLEASANT RUN NURSERY, & LP STATILE NURSERY.



NOTE:
CONTRACTOR TO VERIFY EXISTING UNDERGROUND UTILITY INFRASTRUCTURE IN THIS AREA PRIOR TO TAGGING, PURCHASING AND HAVING TREES DELIVERED TO SITE & INSTALLED IN SPACE.

Overall Landscape Site Plan
Planting

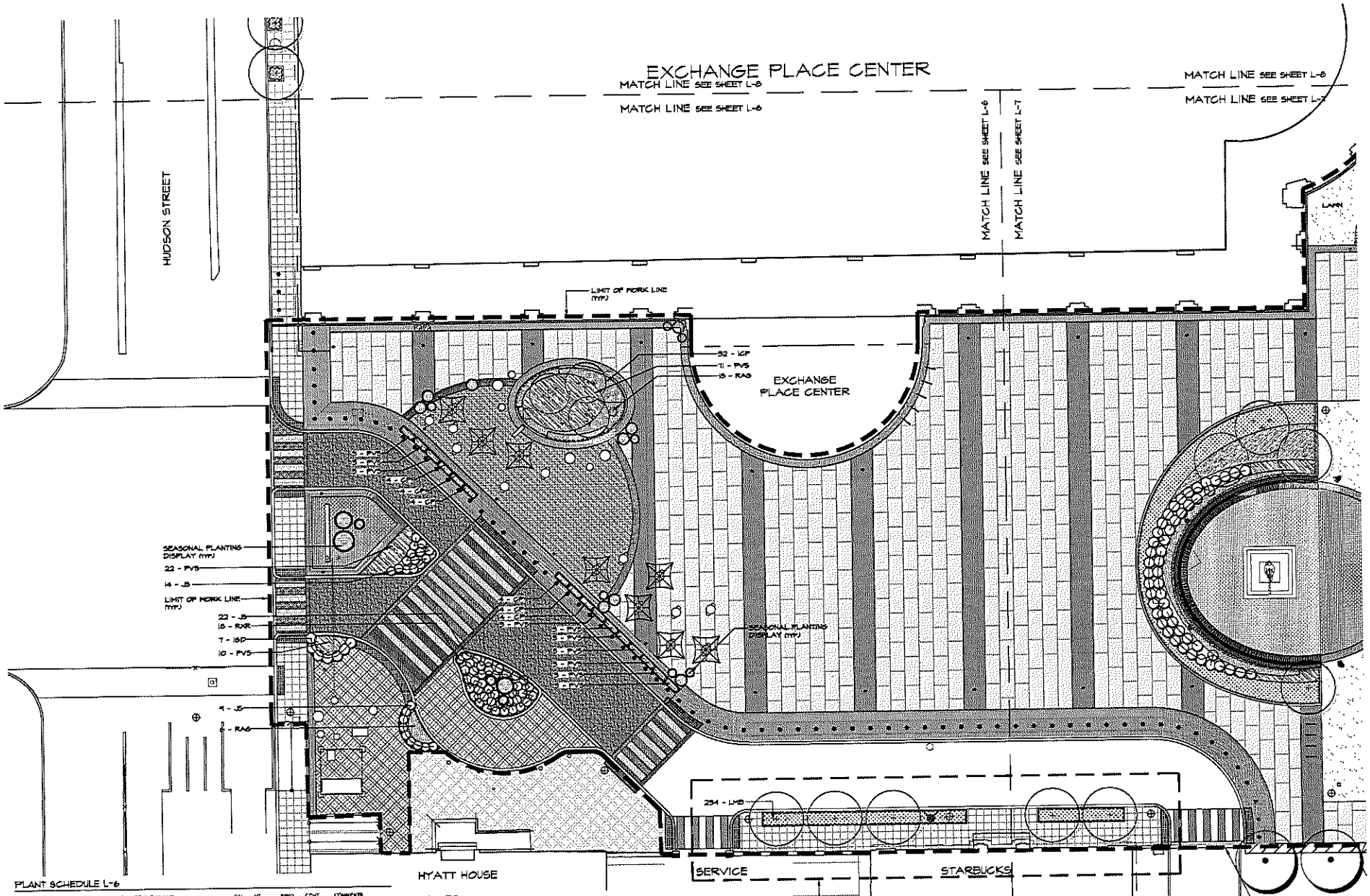
Exchange Place
Jersey City, NJ

MELILLO • BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

THOMAS E. LAYMAN
N.J. CERTIFIED LANDSCAPE ARCHITECT

NO	DATE	REVISION

DRAWING NO
L-5



PLANT SCHEDULE L-6

SHRUBS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
ISD	7	Ilex glabra 'Gerdal' / Gerdal Inkberry	-	2'-2.5'		#5 cont.	Full Plants, 3' O.C.
JS	45	Juniperus sargent / Sargent Juniper	-	15'-18'	18'-24'	#5 cont.	Full Plants, 2.5' O.C.
RXR	18	Rosa x 'Radrazz' / Knock Out Shrub Rose	-	2'-2.5'		#5 cont.	Full Plants, 2.5' O.C.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
IGP	32	Ipomoea 'Powder Blue Giant' / Giant Ipo	-			2 Gal.	Full Plants, 18" O.C.
RAG	31	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	-		18"-24"	#5 cont.	Full Plants, 2.5' O.C.

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
CP	24	Carex pensylvanica / Pennsylvania Sedge	-			1 Gal.	Full Plants, 10" O.C.
LMB	254	Liriope muscari 'Big Blue' / Big Blue Lilyturf	-			1 Gal.	Full Plants, 12" O.C.
PVS	133	Panicum virgatum 'Shenandoah' / Switch Grass	-			2 Gal.	Full Plants, 18" O.C.

NOTES:

- SEE SHEET L-5 FOR TREE PLANTING MATERIALS LIST AND SPECIFICATIONS.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. SEE SHEET L-16 FOR PLANT NOTES AND DETAILS AND SHEET L-17 FOR PLANTING SPECIFICATIONS
- CONTRACTOR SHALL PERFORM PERCOLATION TEST AT ALL PLANTING AREAS & ALERT L.A. / PROJECT MANAGER OF ANY CONCERNS.
- PLANTING SHALL BE SOURCED FROM REPUTABLE LOCAL LANDSCAPE NURSERIES SUCH AS, BUT NOT LIMITED TO, HALKA NURSERIES, PLEASANT RUN NURSERY, & LP STATILE NURSERY.

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Enlargement Landscape Plan
Planting

Exchange Place
Jersey City, NJ

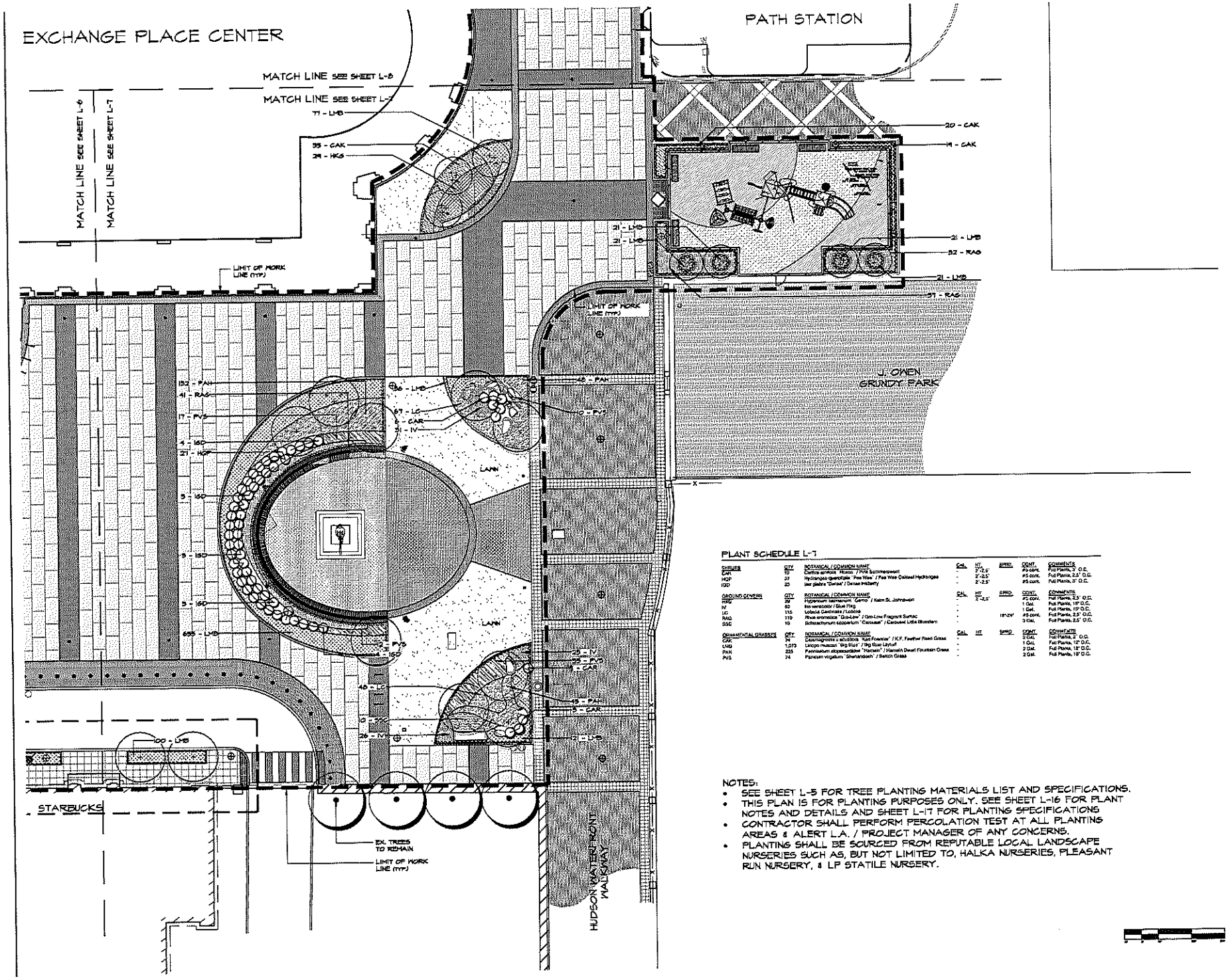
MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

THOMAS G. MAMMAN
N.J. LICENSED LANDSCAPE ARCHITECT

NO.	DATE	REVISION

SCALE: 1"=10'-0"
DATE: 06/14/2022 | JOB NO.: 14-169

DRAWING NO.
L-6



PLANT SCHEDULE L-7

SHRUBS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
CAR	10	Carlina acaulis Humilis / Pink Summersweet	-	2'-2.5'		#5 cont.	Full Plants, 3' O.C.
HGP	27	Hydrangea quercifolia "Pee Wee" / Pee Wee Oakleaf Hydrangea	-	2'-2.5'		#5 cont.	Full Plants, 2.5' O.C.
ISO	23	Ilex glabra "Gerlad" / Gerlad Inkberry	-	2'-2.5'		#5 cont.	Full Plants, 3' O.C.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
HHS	39	Hypericum kalmianum "Gemo" / Klein St. Johnswort	-	2'-2.5'		#5 cont.	Full Plants, 2.5' O.C.
IV	82	Iris versicolor / Blue Flag	-			1 Gal.	Full Plants, 18" O.C.
LC	115	Lobelia Cardinalis / Lobelia	-			1 Gal.	Full Plants, 15" O.C.
RAG	119	Rhus aromatica "Gro-Low" / Gro-Low Fragrant Sumac	-		18"-24"	#5 cont.	Full Plants, 2.5' O.C.
SSC	10	Schizachyrium scoparium "Carousel" / Carousel Little Bluestem	-			3 Gal.	Full Plants, 2.5' O.C.

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
CKF	14	Calamagrostis x acutiflora "Karl Foerster" / K.F. Feather Reed Grass	-			2 Gal.	Full Plants, 2' O.C.
LMB	1,073	Liriope muscari "Big Blue" / Big Blue Lilyturf	-			1 Gal.	Full Plants, 12" O.C.
PAH	235	Pennisetum alopecuroides "Hamelin" / Hamelin Dwarf Fountain Grass	-			2 Gal.	Full Plants, 18" O.C.
PVS	24	Panicum virgatum "Shenandoah" / Switch Grass	-			2 Gal.	Full Plants, 18" O.C.

NOTES:

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Enlargement Landscape Plan

Planting

Exchange Place

Jersey City, NJ

MELILLO+BAUER ASSOCIATES

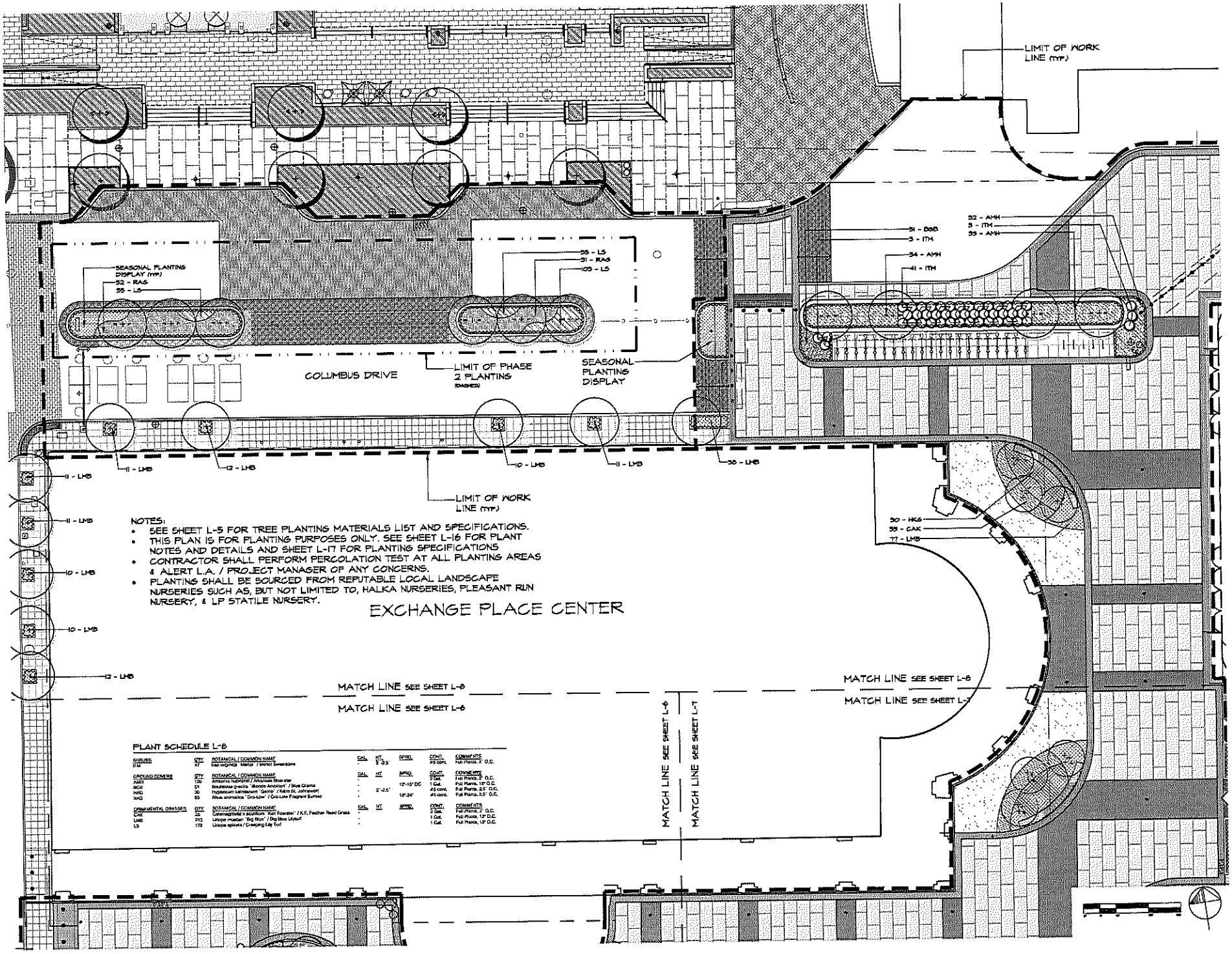
THOMAS G. GRAHAM

N.J. CERTIFIED LANDSCAPE ARCHITECT

NO	DATE	REVISION
SCALE	1"=10'-0"	
DATE	04-14-2022	JOB NO. 16-149

DRAWING NO.

L-7



NOTES:

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PLANT SCHEDULE L-8

SHRUBS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
ITM	47	Ilex verticillata "Mariloh" / Winter Sweetberry	-	2'-3.5'		#5 cont.	Full Plants, 3' O.C.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
AMH	139	Amsonia hubrichtii / Arkansas Blue star	-			2 Gal.	Full Plants, 3' O.C.
BGB	51	Boutelous gracilis "Blonde Ambition" / Blue Grama	-		12"-15" OC	1 Gal.	Full Plants, 12" O.C.
HKG	30	Hypericum kalmianum "Gemo" / Kalm St. Johnswort	-	2'-2.5'		#5 cont.	Full Plants, 2.5' O.C.
RAG	63	Rhus aromatica "Gro-Low" / Gro-Low Fragrant Sumac	-		18"-24"	#5 cont.	Full Plants, 2.5' O.C.

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
CAK	35	Calamagrostis x acutiflora "Karl Foerster" / K.F. Feather Reed Grass	-			2 Gal.	Full Plants, 2' O.C.
LMB	213	Liriope muscari "Big Blue" / Big Blue Lilyturf	-			1 Gal.	Full Plants, 12" O.C.
LS	173	Liriope spicata / Creeping Lily Turf	-			1 Gal.	Full Plants, 12" O.C.

Enlargement Landscape Plan
Planting

Exchange Place
Jersey City, NJ

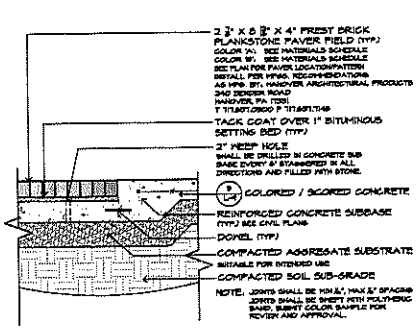
MELILLO • BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

THOMAS G. LAMMAN
ALL REVISIONS LANDSCAPE ARCHITECT
04/04/16

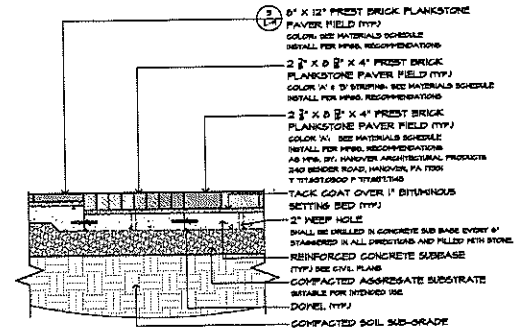
NO.	DATE	REVISION

START PHASE
DATE 06/14/2022 JOB NO. 24-149

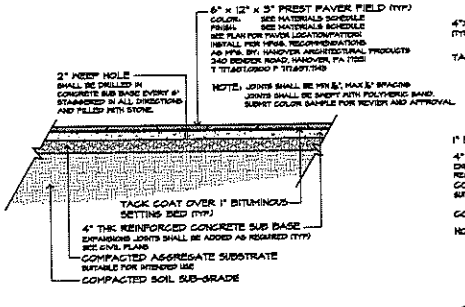
DRAWING NO.
L-8



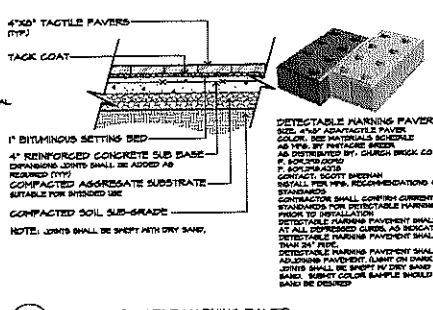
1 L-9 9"x9" PREST PAVERS - BAND 1" = 1'-0"



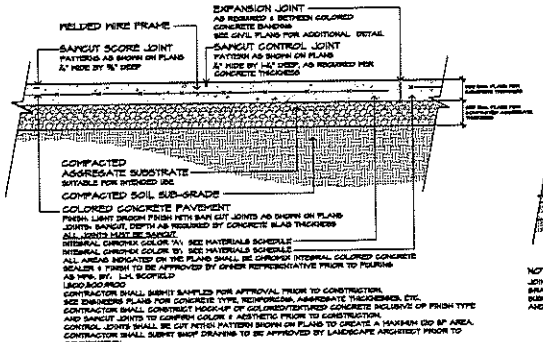
2 L-9 9"x9" PREST PAVER TRANSITION 1" = 1'-0"



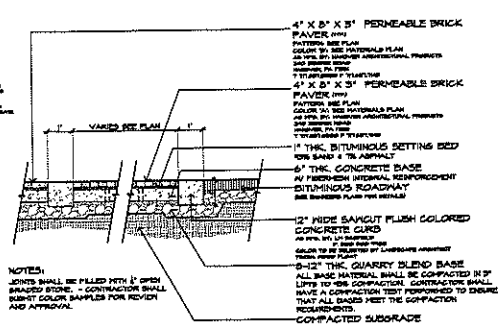
3 L-9 12"x24" PREST PAVER FIELD 1/2" = 1'-0"



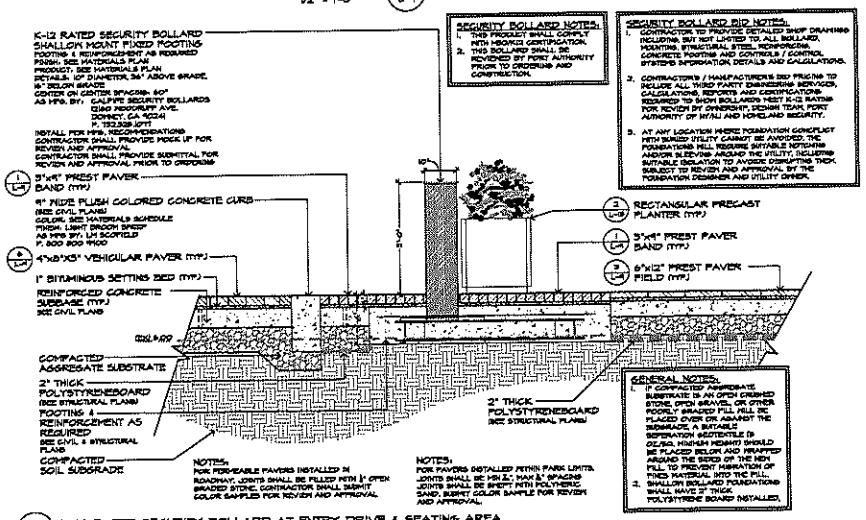
4 L-9 4"x8" DETECTABLE WARNING PAVER 1" = 1'-0"



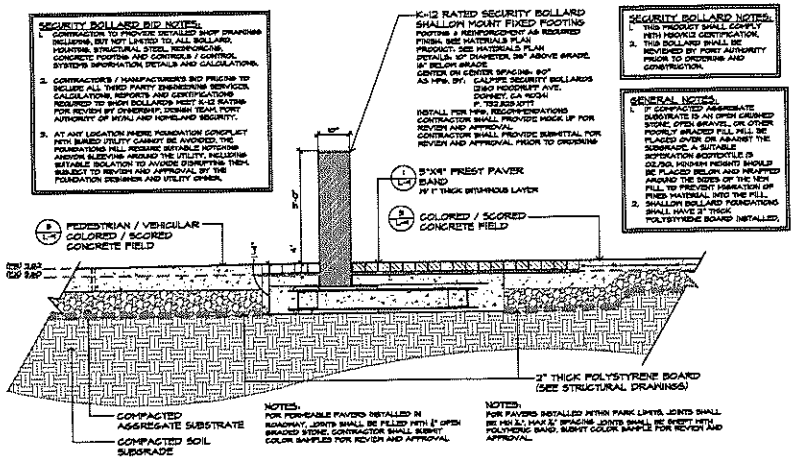
5 L-9 COLORED / SCORED CONCRETE 1" = 1'-0"



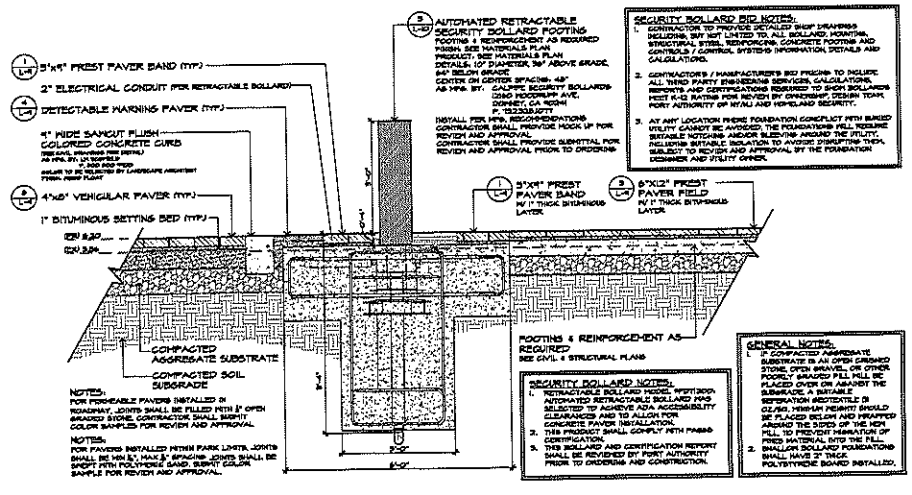
6 L-9 4"x8" VEHICULAR PAVER 1/2" = 1'-0"



7 L-9 K-12 RATED SECURITY BOLLARD AT ENTRY DRIVE & SEATING AREA 3/4" = 1'-0"



8 L-9 K-12 RATED SECURITY BOLLARD - SHALLOW FIXED AT CONCRETE PAVEMENT 3/4" = 1'-0"



9 L-9 AUTOMATED RETRACTABLE BOLLARD AT MAIN ENTRY 3/4" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE
200 Main Avenue
Keyport, New Jersey 07735
T 732.264.3949
F 732.264.3949
www.melillobauer.com

THOMAS C. BAUMAN
N.J. CERTIFIED LANDSCAPE ARCHITECT
#AS01774

NO. DATE REVISION
SCALE: As Noted
DATE: 04.14.2022 JOB NO: 16-149

DRAWING NO.
L-9

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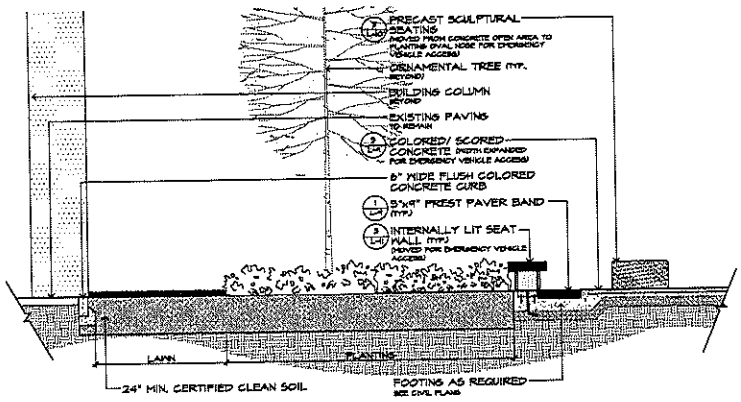
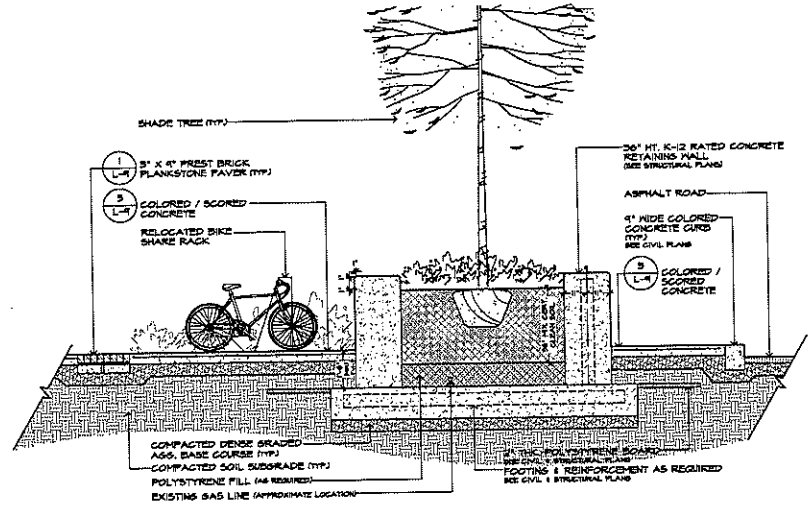
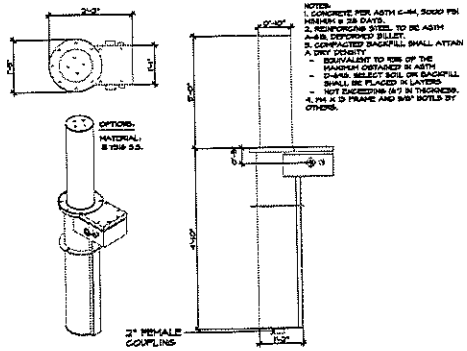


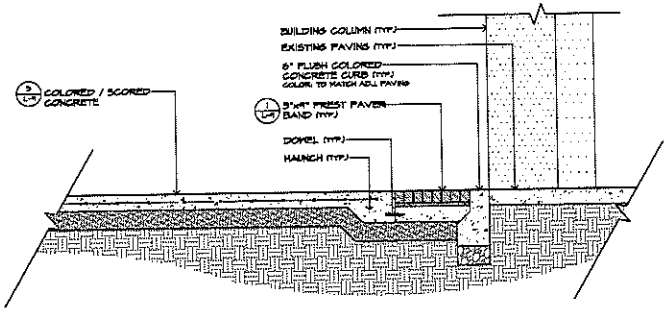
1 / L-10 SEATING & PLANTING AREA ADJACENT TO THE PATH STATION 3/8" = 1'-0"



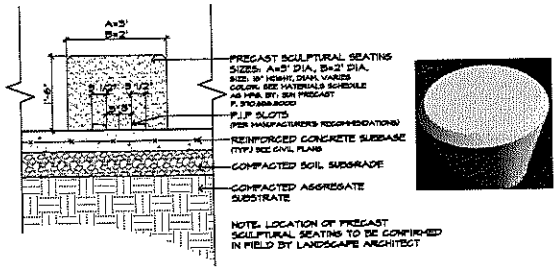
2 / L-10 SECURITY WALL PLANTER SCALE: 1/2" = 1'-0"



3 / L-10 ENLARGEMENT: AUTOMATED RETRACTABLE BOLLARD SCALE: 3/4" = 1'-0"



4 / L-10 COLORED SCORED CONCRETE WALK 3/4" = 1'-0"



5 / L-10 PRECAST CONCRETE SEATING 3/8" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

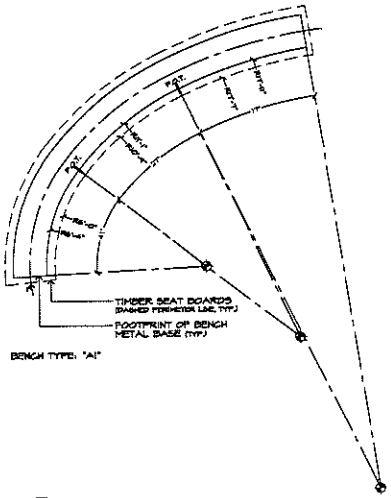
MELILLO • BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

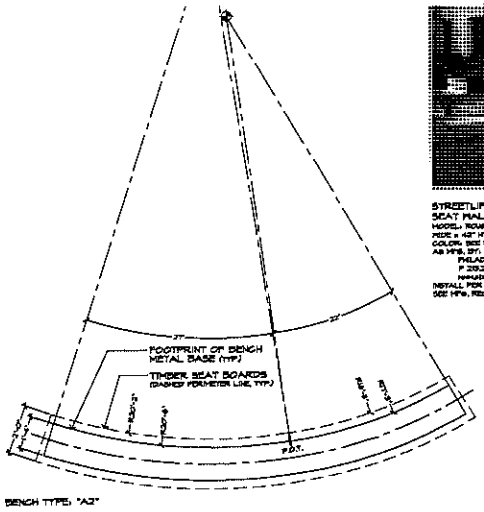
THOMAS J. GANNON
N.J. CERTIFIED LANDSCAPE ARCHITECT

NO	DATE	REVISION

SCALE: AS NOTED
DATE: 06/14/2022 JOB NO.: 16-149

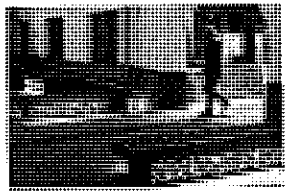
DRAWING NO.
L-10



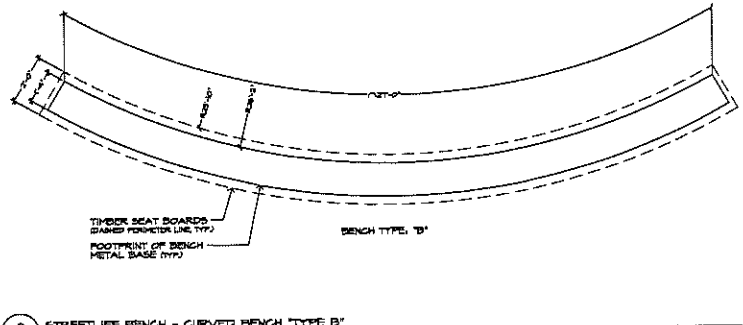


1 / L-11 STREETLIFE BENCH @ OVAL SEATING "TYPE A" - DIMENSIONING PLAN

1/2" = 1'-0"

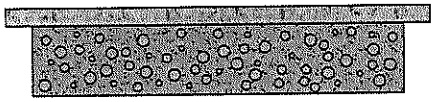


STREETLIFE INTERNALLY LIT
SEAT WALL @ OVAL SEATING
MODEL: ROUGH & READY CURVED SEAT WALL SIZE: 34"
WIDE x 42" HT
COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY: STREETLIFE
PHILADELPHIA, PA
P 203.247.0148
www.streetlife.nl
INSTALL PER MFR. RECOMMENDATIONS.
SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE



2 / L-11 STREETLIFE BENCH - CURVED BENCH "TYPE B"

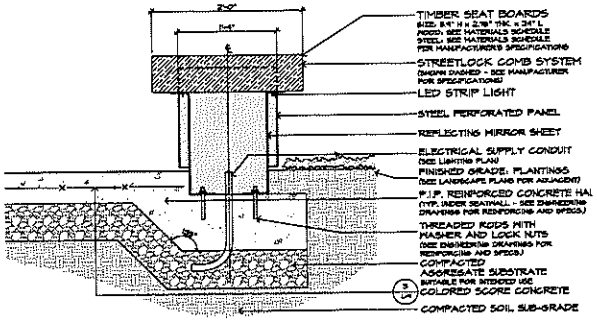
1/2" = 1'-0"



STREETLIFE SEAT WALL @ PLAY AREA: BENCH TYPE "C"
MODEL: ROUGH & READY STRAIGHT SEAT WALL
SIZE: 24" WIDE x 42" HT
PLANTER COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY:
ROUGH & READY
PHILADELPHIA, PA
P 203.247.0148
www.streetlife.nl
INSTALL PER MFR. RECOMMENDATIONS.
SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE

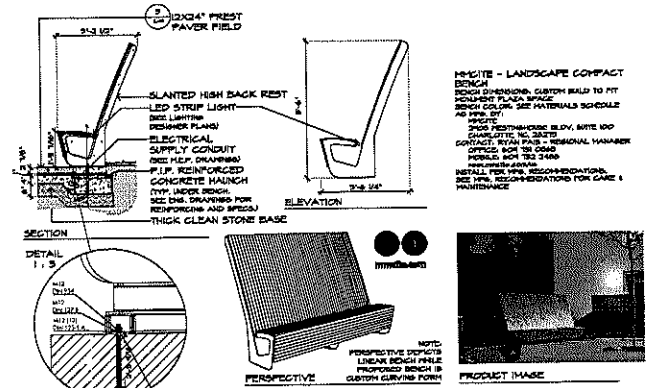
3 / L-11 ROUGH N READY - WOOD TOP SEATING - PLAY AREA - TYPE "C"

NTS



4 / L-11 ROUGH N READY BENCH - TYPICAL DETAIL

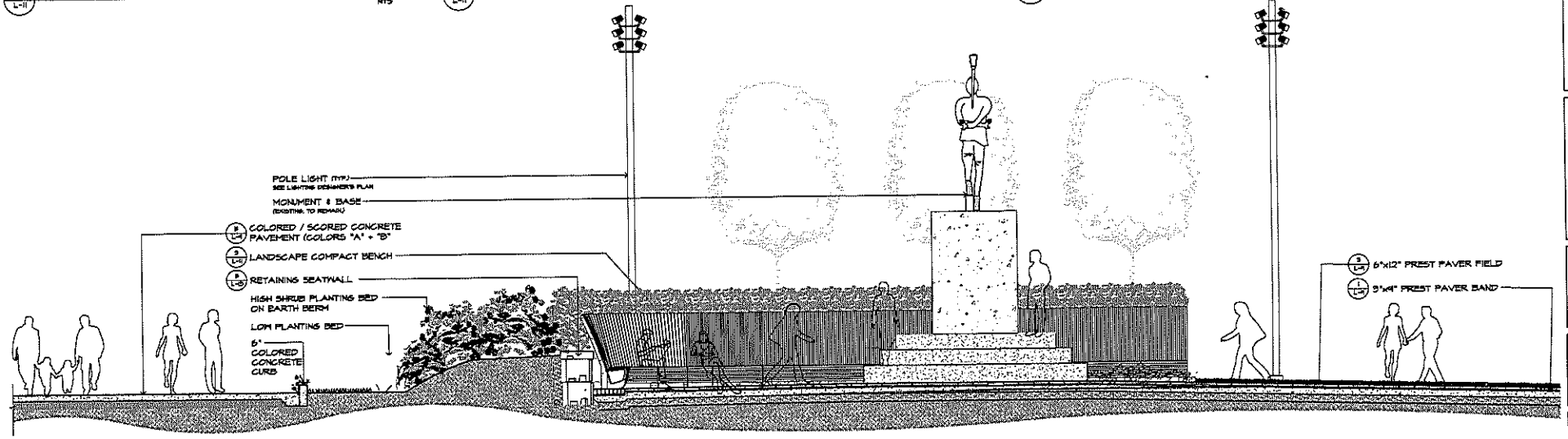
1-1/2" = 1'-0"



MAGITE - LANDSCAPE COMPACT BENCH
BENCH DIMENSIONS: CUSTOM BUILD TO FIT
MIDLIGHT PLAZA SPACE
BENCH COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY:
MAGITE
3400 SOUTHBOROUGH BLDV, SUITE 100
CHARLOTTE, NC, 28210
CONTACT: RYAN PAIS - REGIONAL MANAGER
OFFICE: 704 731 0060
MOBILE: 704 583 3466
INSTALL PER MFR. RECOMMENDATIONS.
SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE

5 / L-11 LANDSCAPE COMPACT BENCH

3/4" = 1'-0"



6 / L-11 MONUMENT CIRCLE WITH BERMED PLANTING & LANDSCAPE COMPACT BENCH

3/8" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

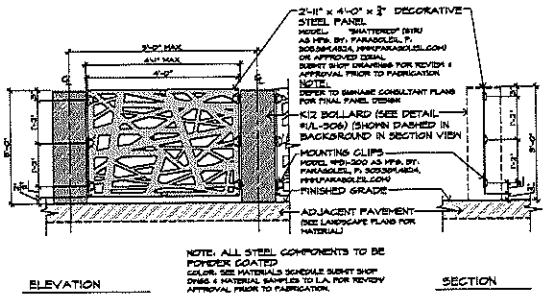
MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

THOMAS G. GANNON
N.J. CERTIFIED
LANDSCAPE ARCHITECT
#AL02776

NO	DATE	REVISION

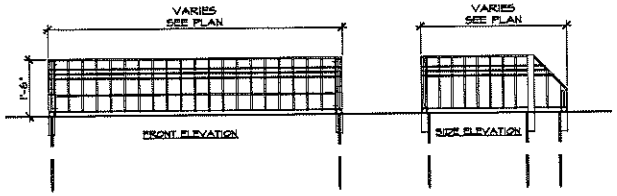
SCALE: AS NOTED
DATE: 04.14.2022 JOB NO.: 16-114

DRAWING NO.
L-11



NOTE: ALL STEEL COMPONENTS TO BE POWDER COATED
COLOR: SEE MATERIALS SCHEDULE SUBMIT SHOP DWGS & MATERIAL SAMPLES TO LA. FOR REVIEW APPROVAL PRIOR TO FABRICATION.

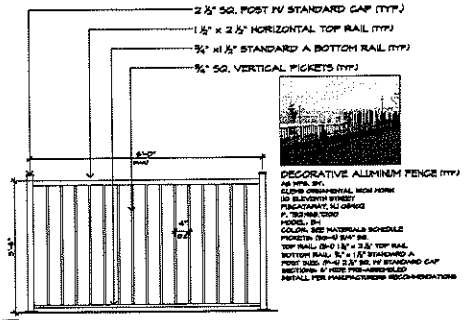
1 / L-12 PEDESTRIAN BARRIER - DECORATIVE PANEL 3/4"=1'-0"



PLANTER BARRIER
MODEL: CLYDE
COLOR: SEE MATERIALS SCHEDULE
AS MFR BY: GREENBELIE URBAN
4405 ANDERSON ROAD
KNOXVILLE, TN 37918
P. 866.202.2745

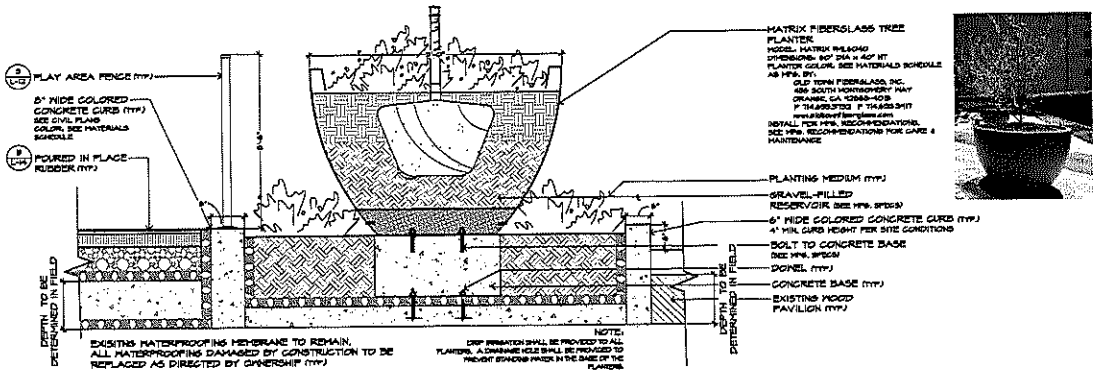
NOTES:
1. ALL STEEL COMPONENTS TO BE POWDER COATED
2. CONTRACTOR TO SUBMIT COLOR AND FINISH SAMPLES FOR REVIEW AND APPROVAL BY OWNER'S REP. AND LANDSCAPE ARCHITECT PRIOR TO FABRICATION / INSTALLATION.
3. CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER'S REP. AND LANDSCAPE ARCHITECT PRIOR TO FABRICATION / INSTALLATION.

2 / L-12 PLANTER BARRIER SCALE: 3/4" = 1'-0"

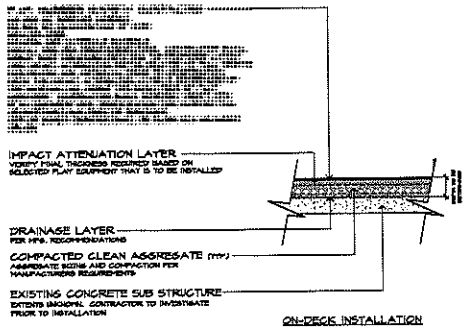


NOTE:
- ALL COMPONENTS FOR FENCES & GATES TO BE ALUMINUM AND POWDER COATED TO MATCH ARCHITECTURE.
- ALL FENCES & GATES TO MEET ALL LOCAL CODES.
- MATERIAL SAMPLES TO BE PROVIDED TO LANDSCAPE ARCHITECT & OWNER'S REP. FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF RAILING, RETAILING WALL, RAIL COMPONENTS, ATTACHMENTS, ETC. FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- FABRICATOR SHALL DETERMINE PROPER PANTERNING, METAL GAUGES/THICKNESS & CONSTRUCTION METHODS PRIOR TO MANUFACTURING RAIL SYSTEM.
- FABRICATOR/CONTRACTOR SHALL SUBMIT MOCK-UP/FULL SAMPLES FOR APPROVAL PRIOR TO FABRICATION.
- EMBEDDED PLATES SHALL BE PROVIDED WHERE RAILS ARE SET WITHIN PAVEMENT TO CONCEAL PAVER CUTS AROUND POSTS.

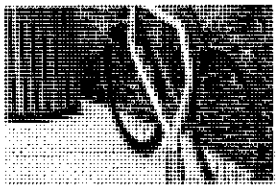
3 / L-12 PLAY AREA FENCE 3/4" = 1'-0"



4 / L-12 PLANTING BED & FENCE AT PLAYGROUND AREA SCALE: 1"=1'-0"

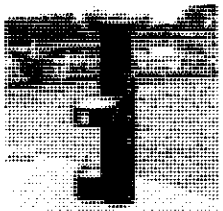


5 / L-12 SAFETY SURFACINGS 3/8" = 1'-0"

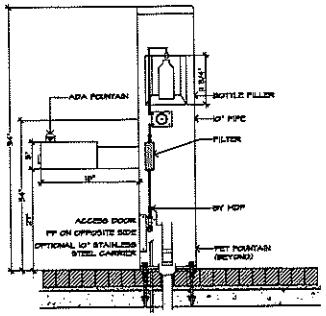


BIKE RACK
MODEL: PBP
COLOR: SEE MATERIALS SCHEDULE
MOUNTING: EMBEDDED
SIZE: 30"L x 8"W x 33"H
AS MFR. BY: LANDSCAPE FORMS
P. 800.430.6301
AS DIST. BY: ARISTEIA METRO
P. 908-348-0477
INSTALL PER MANUFACTURER RECOMMENDATIONS
SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

6 / L-12 BIKE RACK SCALE: NTS



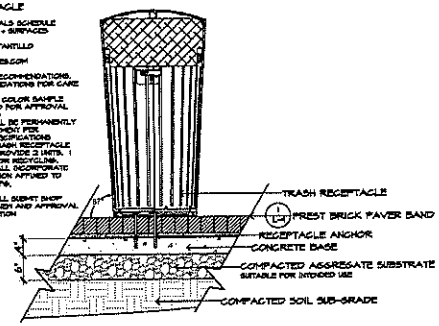
BOTTLE FILLER / ADA FOUNTAIN / PET FOUNTAIN
MODEL: LK8SSH
COLOR: SEE MATERIALS SCHEDULE
AS MFR BY: HOBT DEPENDABLE FOUNTAINS
P. 904 847 0029
INSTALL ACCORDING TO MFR. RECOMMENDATIONS. SURFACE MOUNT W/ STAINLESS STEEL SURFACE CARRIER RECESSED HOSE BIBB AND LOCK BOX OPTION
FOOTING AS REQUIRED, INSTALL FOOTING BENEATH PAVERS
WINTERIZE PER MFR. RECOMMENDATIONS



7 / L-12 DOG FOUNTAIN & BOTTLE FILLING STATION 1" = 1'-0"

TRASH RECEPTACLE
MODEL: DISPATCH
COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY: FORMS + SURFACES
P. 800.451.1849
CONTACT: MELANIE TANTILLO
P. 267.449.2907
WWW.FORMS-SURFACES.COM
INSTALL PER MFR. RECOMMENDATIONS. SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE
- SHOP DRAWINGS & COLOR SAMPLE SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING
- RECEPTACLE SHALL BE PERMANENTLY ANCHORED TO PAVEMENT PER MANUFACTURERS SPECIFICATIONS
- ALL PROPOSED TRASH RECEPTACLE LOCATIONS SHALL PROVIDE 2 UNITS, 1 FOR TRASH AND 1 FOR RECYCLING.
RECYCLING UNIT SHALL INCORPORATE RECYCLING MEDALLION APPLIED TO RECEPTACLE PER MFR. RECOMMENDATIONS
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

NOTE: JOINTS SHALL BE MIN 3/4", MAX 3/8" SPACING
JOINTS SHALL BE SWEPT WITH POLYMERIC SAND.
SUBMIT COLOR SAMPLE SHOULD POLYMERIC SAND BE DESIRED



8 / L-12 TRASH RECEPTACLE SCALE: 1"=1'-0"

Site Details

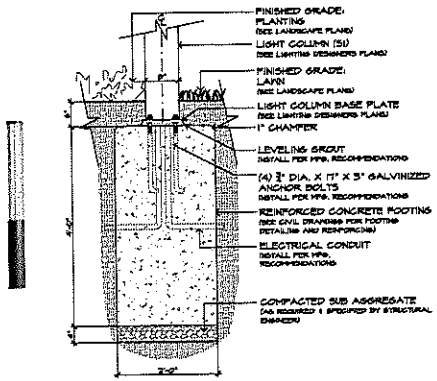
Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE
350 Lincoln Avenue
Roselle Park, New Jersey 07203
T. 732.574.2444
F. 732.574.1577
www.melillo+bauer.com

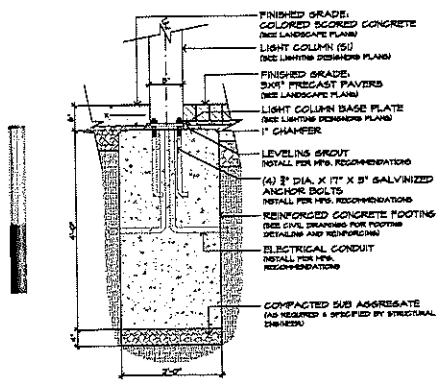
THOMAS G. LAMMAR
N.J. LICENSED LANDSCAPE ARCHITECT
LA#4170

NO. DATE REVISION
SCALE: AS NOTED
DATE: 04.14.2022 JOB NO.: 16-149

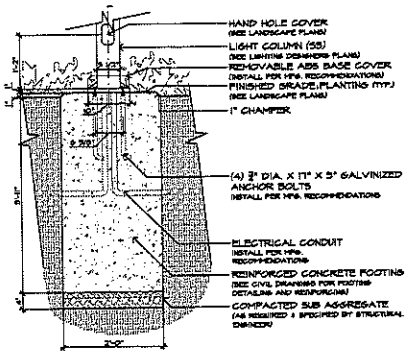
DRAWING NO.
L-12



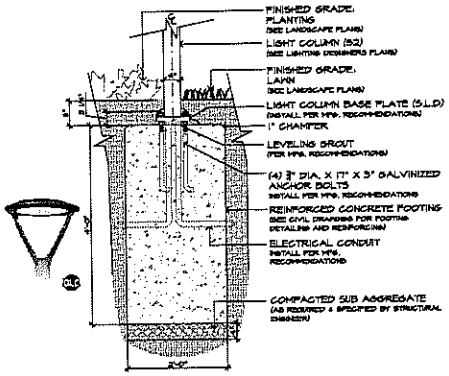
1 / L-13 COLUMN LED LIGHT (S1), CONDITION "A" 1"=1'-0"



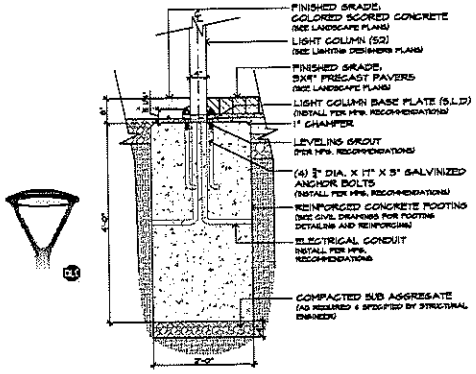
2 / L-13 COLUMN LED LIGHT (S1); CONDITION "B" SCALE: 1" = 1'-0"



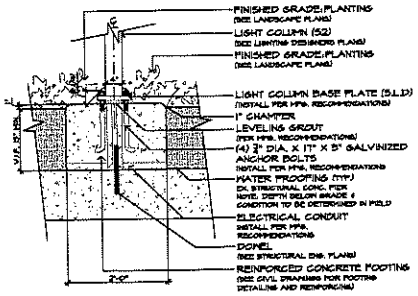
3 / L-13 ODESSA CLUSTER COLUMN PROJECTOR (S5) 1"=1'-0"



4 / L-13 POST TOP LIGHT (S2), CONDITION "A" 1"=1'-0"



5 / L-13 POST TOP LIGHT (S2); CONDITION "B" SCALE: 1" = 1'-0"



6 / L-13 POST TOP LIGHT (S2); CONDITION "C" SCALE: 1" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

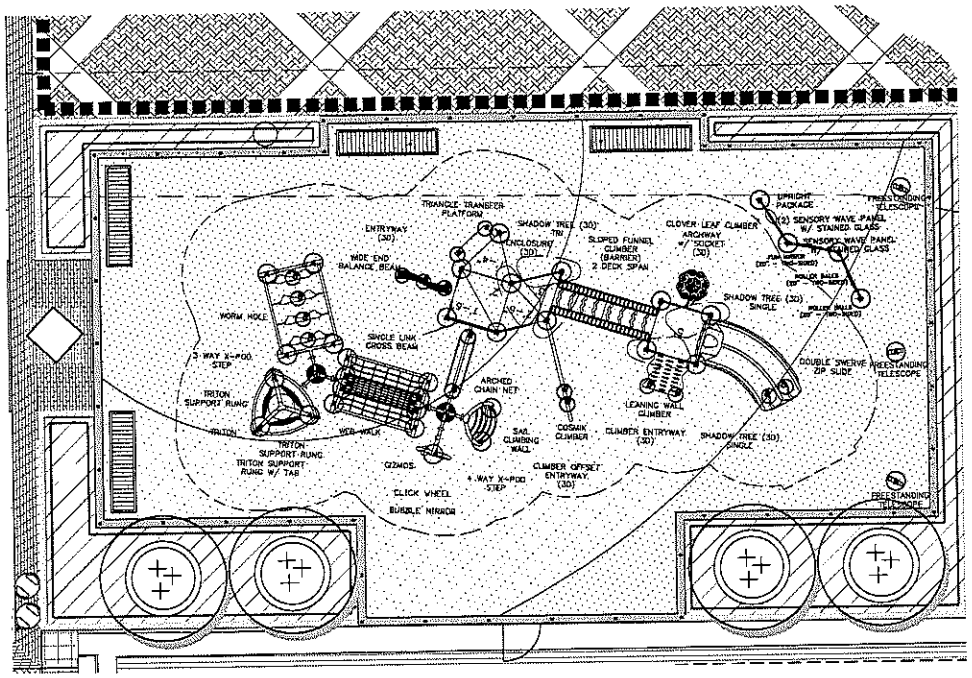
MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE

ENGINEER D. LAWMAN
N.J. CERTIFIED LANDSCAPE ARCHITECT #AS10774

NO.	DATE	REVISION

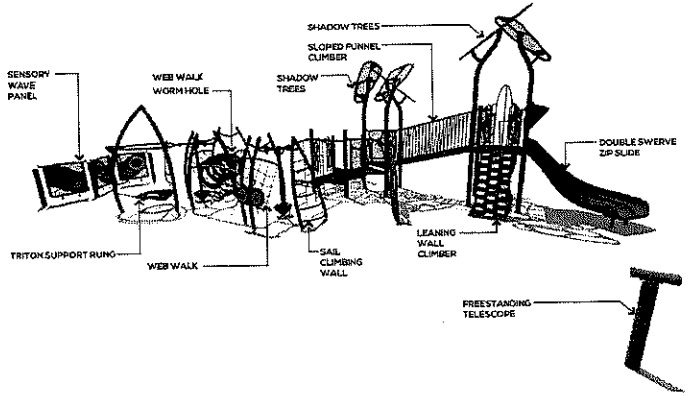
SCALE: AS NOTED
DATE: 06-14-2022 DR HD: 14-147

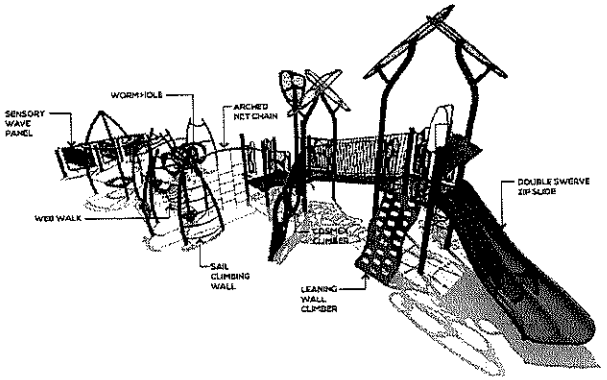
DRAWING NO.
L-13

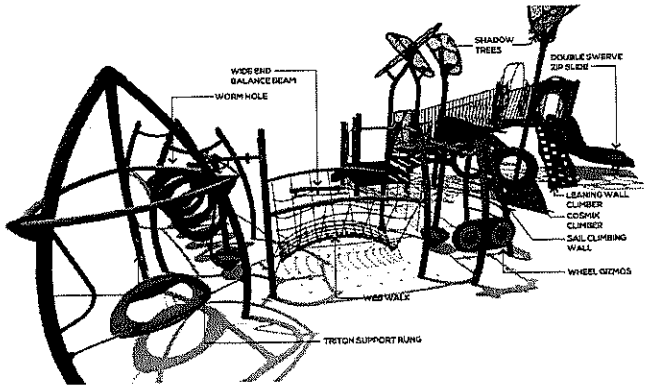


1 L-14 ENLARGEMENT: 2-12 YEAR PLAY AREA

SCALE: 1/4"= 1'-0"



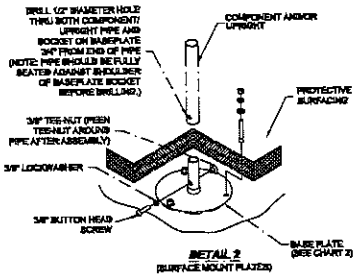




3 L-14 PERSPECTIVES: 2-12 YEAR PLAY AREA

SCALE: NTS

DETAIL 1
(FOR SURFACE MOUNT INSTALLATIONS)



DETAIL 2
(SURFACE MOUNT PLATES)

CHART 2

O.D.	BASE PLATE
1 9/16"	1.52860
1 5/8"	1.52861
1 7/8"	1.52862
2 3/8"	1.52863
2 7/8"	1.52864
3 1/2"	1.52865
4"	1.52866

NOTES:
1. DIM "A" = MATERIAL TO BE REMOVED.
2. SOME INGROUND COMPONENTS REQUIRE EXTENSIONS. REVIEW YOUR STANDARD INSTALLATION SHEET IF EXTENSIONS ARE REQUIRED. ADJUST MATERIAL TO BE REMOVED ACCORDINGLY.
i.e. A COMPONENT REQUIRING 6" EXTENSIONS, AND IF SURFACING DEPTH IS TO BE 2", MATERIAL TO BE REMOVED WILL BE 2.2 11/16"

PLAY EQUIPMENT
AS MFG BY: GAMETIME
DIST. BY: MRC REC
REP: DONALD COOPER
PHONE: 732.781.9034
WEBSITE: www.mrcrec.com

PLAY EQUIPMENT NOTE:
- FOUNDATIONS & FOOTINGS TO BE COORDINATED WITH PLAY EQUIPMENT MANUFACTURER'S COMPLETE SHOP DRAWINGS.
- PLAY STRUCTURE TO BE INSTALLED PER MFG RECOMMENDATIONS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL SAFETY ZONES PRIOR TO INSTALLATION.
- COLORS, TO BE SELECTED BY L.A.
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT AND OWNER'S REP FOR APPROVAL PRIOR TO ORDERING.

2 L-14 GAMETIME: SURFACE MOUNTING INSTRUCTIONS

SCALE: NTS

Site Details

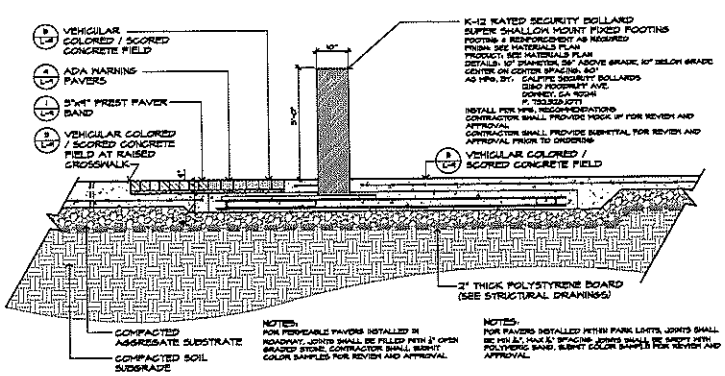
Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES

THOMAS G. LAWSON
N.J. CERTIFIED LANDSCAPE ARCHITECT

NO.	DATE	REVISION
SCALE: As Noted		
DATE: 04.14.2022	JOB NO.: 16.149	

DRAWING NO.
L-14



SECURITY BOLLARD BID NOTES:
1. CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO, ALL BOLLARD, MOUNTING, STRUCTURAL STEEL, REINFORCING, CONCRETE FOOTINGS AND CONTROLS / CONTROL SYSTEMS INFORMATION, DETAILS AND CALCULATIONS.
2. CONTRACTORS / MANUFACTURER'S BID PRICING TO INCLUDE ALL THIRD PARTY ENGINEERING SERVICES, CALCULATIONS, REPORTS AND CERTIFICATIONS REQUIRED TO SHOW BOLLARDS MEET K-12 RATING FOR REVIEW BY OWNERSHIP, DESIGN TEAM, PORT AUTHORITY OF NY/NJ AND HOMELAND SECURITY.
3. AT ANY LOCATION WHERE FOUNDATION CONFLICT WITH BURIED UTILITY CANNOT BE AVOIDED, THE FOUNDATIONS WILL REQUIRE SUITABLE NOTCHING AROUND BLOCKING AROUND THE UTILITY, INCLUDING SUITABLE ISOLATION TO AVOIDED DISRUPTING THEM. SUBJECT TO REVIEW AND APPROVAL BY THE FOUNDATION DESIGNER AND UTILITY OWNER.

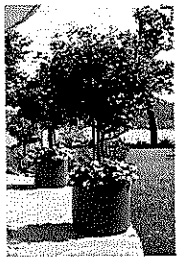
SECURITY BOLLARD NOTES:
1. THIS PRODUCT SHALL COMPLY WITH MEANS CERTIFICATION
2. THIS BOLLARD SHALL BE REVIEWED BY PORT AUTHORITY PRIOR TO ORDERING AND CONSTRUCTION.

GENERAL NOTES:
1. IF COMPACTED AGGREGATE SUBSTRATE IS AN OPEN CRUSHED STONE, OPEN GRAVEL, OR OTHER POORLY GRADED FILL, FILL BE PLACED OVER OR AGAINST THE SUBGRADE, A SUITABLE SEPARATION GEOTEXTILE (8 OZ/SQ. MINIMUM WEIGHT) SHOULD BE PLACED BELOW AND WRAPPED AROUND THE SIDES OF THE NEW FILL TO PREVENT MIGRATION OF FINES MATERIAL INTO THE FILL.
2. SMALLER BOLLARD FOUNDATIONS SHALL HAVE 2" THICK POLYSTYRENE BOARD INSTALLED.

1 L-15 K-12 RATED SECURITY BOLLARD - SUPER SHALLOW FIXED — 3/4" = 1'-0"

RECTANGULAR PRECAST PLANTER:
MODEL: DELTA RECTANGLE 60
COLOR: SEE MATERIALS SCHEDULE
SIZE: 59"L x 23"H x 24"H
AS MFR. BY:
SHEDWORK LLC
P. 914.699.3132
MHUGHES@SHEDWORK.COM
INSTALL PER MANUFACTURER RECOMMENDATIONS
CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION / PURCHASE.

2 L-15 RECTANGULAR PRECAST PLANTER — NOT TO SCALE

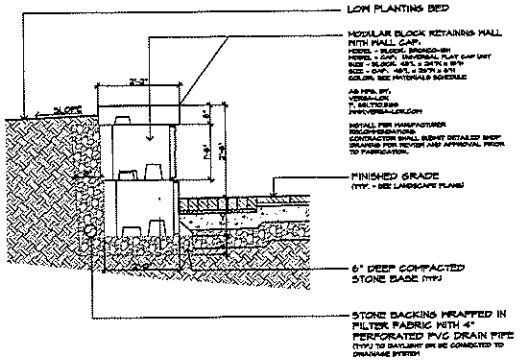


ROUND PRECAST PLANTER:
MODEL: DELTA ROUND 60
COLOR: SEE MATERIALS SCHEDULE
SIZE "A": 30" DIA. x 18" H
SIZE "B": 24" DIA. x 18" H
AS MFR. BY:
SHEDWORK LLC
P. 914.699.3132
MHUGHES@SHEDWORK.COM
INSTALL PER MANUFACTURER RECOMMENDATIONS
CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION / PURCHASE.

5 L-15 ROUND PRECAST PLANTER — NOT TO SCALE

SCULPTURAL PRECAST PLANTER:
MODEL: DUNE
COLOR: SEE MATERIALS SCHEDULE
SIZE "A": 36" DIA. x 23" H
SIZE "B": 60" DIA. x 40" H
SIZE "C": 72" DIA. x 24" H
AS MFR. BY:
KORNEWAY DESIGN
P. 877.253.6639
MHUGHES@KORNEWAYDESIGN.COM
INSTALL PER MANUFACTURER RECOMMENDATIONS
CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION / PURCHASE.

4 L-15 SCULPTURAL PLANTERS — NOT TO SCALE



5 L-15 MODULAR PRECAST BLOCK RETAINING SEATWALL AT MONUMENT — 3/4" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

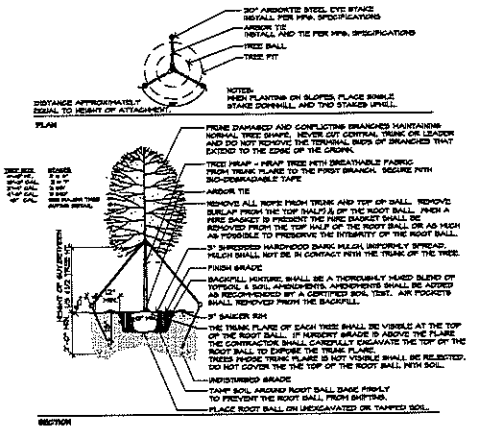
MELILLO + BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE
200 Union Avenue
Bradley Beach, New Jersey 07720
T. 732.774.0444
F. 732.774.0577
www.melillobauerassociates.com

THOMAS G. BAUMAN
N.J. LICENSED LANDSCAPE ARCHITECT
#LA00774

NO	DATE	REVISION

SCALE: AS NOTED
DATE: 04.14.2023 JOB NO.: 23-149

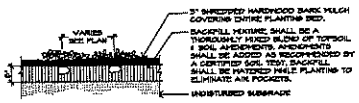
DRAWING NO.
L-15



NOTES:
CONTRACTOR SHALL PARTIALLY FILL PITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PIT DOESNT PERCOLATE, MEASURED MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
CONTRACTOR SHALL REMOVE STAKING, BUYING AND WRAP AT END OF GUARANTEE PERIOD. ALL PLANTING MUST BE GUARANTEED FOR ONE FULL GROWING SEASON FROM THE TIME OF FINAL ACCEPTANCE BY THE OWNER OR GOVERNING AUTHORITY.
ON ALL FALL PLANTINGS THE CONTRACTOR SHALL WRAP THE TREES SPECIFIED BY THE LANDSCAPE ARCHITECT (ACER SPP.) FROM THE TRUNK FLARE TO THE FIRST BRANCH. TREE WRAP SHALL BE REMOVED BY APRIL 1. TREE WRAP SHALL BE BREATHABLE AND AS APPROVED BY THE LANDSCAPE ARCHITECT.
TREE WRAP SHALL BE INSTALLED AT THE TIME OF PLANTING AND BE REMOVED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
TREE WRAP SHALL BE REMOVED NO LATER THAN 12 MONTHS AFTER PLANTING.
TREES WHOSE NORTH ORIENTATION IS NOT GAINED FROM THE NURSERY DO NOT NEED TO BE WRAPPED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
GUYS ON MULTI-STEM TREES TO BE MADE ON HEAVIEST BRANCHES OF PLANT.

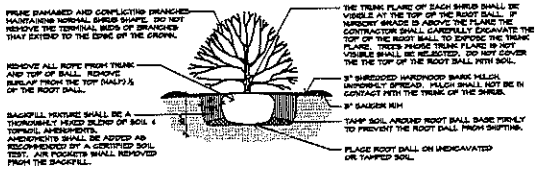
1 L-16 DETAIL: DECIDUOUS TREE PLANTING

SCALE: 3/8" = 1'-0"



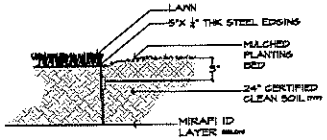
2 L-16 DETAIL: PERENNIAL PLANTING

SCALE: 1/2" = 1'-0"



3 L-16 DETAIL: SHRUB PLANTING

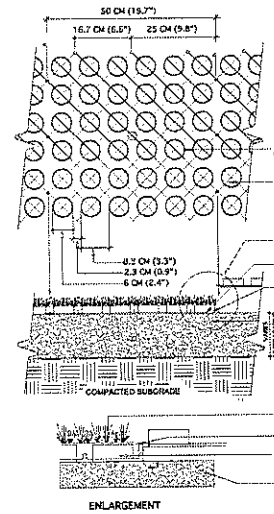
SCALE: 1/2" = 1'-0"



STEEL EDGING
AB MFG. BY, BORDER CONCEPTS
1800 LITTLE AVENUE, SUITE 428
CHARLOTTE, NC 28205
P: 800.268.3818
INFO@BORDERCONCEPTS.COM
STAKES 18" LONG, SPACING PER MANUFACTURERS SPECIFICATIONS
COLOR: BLACK
CORNERS-CORNERS SHALL BE WELDED AND GROUND SMOOTH
CONTRACTOR SHALL SUBMIT SAMPLE FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO PURCHASE AND INSTALLATION

4 L-16 DETAIL: TURF/MULCH TRENCH W/ STEEL EDGING

SCALE: 1-1/2"=1'-0"



SPECIFICATIONS
UNIT SIZE - 50 CM X 50 CM X 2.5 CM OR 1 M X 1 M X 2.5 CM (20" X 20" X 1" OR 40" X 40" X 1")
AVAILABLE IN 9 STANDARD ROLL SIZES
UNIT WEIGHT - 510 GRAMS (18 OZ.) OR 2.0 KG (4.5 POUNDS)
STRENGTH - 1121 KG/CM² (15,940 PSI)
COLOR - BLACK
RESIN - 100% RECYCLED HDPE

NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

6 L-16 STABALIZED TURF; 40" x 40" x 1" ROLL

NTS

PLANT NOTES:

1. THE CONTRACTOR SHALL FURNISH QUANTITIES NECESSARY TO COMPLETE THE PLANTING AS SHOWN ON THE PLANTING PLANS.
   A. ALL PLANTS SHALL BE LOCAL OR EXCEED MEASUREMENTS SPECIFIED IN THE PLANT LIST WHICH ARE THE MINIMUM ACCEPTABLE.
   B. PLANTS SHALL BE MEASURED BEFORE PRUNING. NECESSARY PRUNING SHALL BE PERFORMED AFTER THE PLANT IS INSTALLED AND PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY MAJOR PRUNING REQUIREMENTS DUE TO DAMAGE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT NEEDS SIGNIFICANT PRUNING DUE TO DAMAGE FROM SHIPMENT OR HANDLING.
   C. WHEN FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, STOCK SHALL BE SELECTED FOR UNIFORM HEIGHT AND SPREAD AND LABELED BY NUMBER TO ASSURE SYMMETRY IN PLANTING.
2. WHEN ALL PLANT MATERIAL HAS BEEN SELECTED AND PRE-TAGGED BY THE LANDSCAPE CONTRACTOR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN ORDER TO SCHEDULE NO NURSERY INSPECTION WITH A MINIMUM OF 3 DAYS ADVANCE NOTICE.
   A. THE CONTRACTOR SHALL ACCOMPANY THE LANDSCAPE ARCHITECT ON ALL INSPECTIONS.
   B. THE CONTRACTOR SHALL HAVE SUFFICIENT ALTERNATE CHOICES TO PREVENT LOSS OF TIME IN THE EVENT THAT SOME TREES FAIL TO MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT.
   C. ALL TREES MUST BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.
3. LOCATIONS OF PLANT MATERIAL SHOWN ON PLANS ARE APPROXIMATE. FINAL LOCATIONS WILL VARY FROM PLAN AND SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
   A. CONTRACTOR SHALL PROVIDE PRE-MARKED, COLOR-CODED FLAGS FOR ALL SHADE TREES, EVERGREEN TREES, AND FLOWERING TREES.
   B. LANDSCAPE ARCHITECT SHALL PLACE THE COLOR-CODED FLAGS TO INDICATE PLANT LOCATIONS.
   C. CONTRACTOR SHALL PLACE TREES ABOVE GROUND IN ACCORDANCE WITH THE FLAGGED LOCATION. THE LANDSCAPE ARCHITECT MAY REQUEST THE CONTRACTOR TO MOVE, TURN OR RELOCATE THE PLANT MATERIAL AT THE TIME. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PLACE WELL PITS.
   D. UPON FINAL APPROVAL BY THE LANDSCAPE ARCHITECT OF TREE PLACEMENT, CONTRACTOR SHALL PAINT A CIRCLE AROUND THE BALL OF THE TREE, MOVE TREE, AND EXCAVATE TREE PIT.
4. PLANTS SHALL BE TYPICAL OF TRUE SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES; DENSELY FOLIATED; VIGOROUS ROOT SYSTEMS; BE FREE FROM DEFECTS AND INJURIES AND COMPLY WITH ANY SPECIAL INSTRUCTIONS NOTED WITHIN THE PLANT LIST.
5. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT PLANT STOCK WHICH HAS NOT BEEN PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
6. QUALITY, BRANCHING AND SIZE OF PLANTS, INCLUDING ROOT SIZE, SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60.1-2004 (MOST RECENT EDITION) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
7. BALL & BURLAP SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3-4 INCHES WITH SHREDDED HARDWOOD BARK MULCH. MULCH SHOULD NOT COME IN CONTACT WITH THE EDGE (SQUARE OF TREES OR SHRUBS. THE TOP OF THE ROOT BALL FOR ALL B&B PLANTS SHALL BE EXCAVATED TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE AT THE TOP OF THE BALL AND PLANTED LEVEL OR 1" ABOVE FINISHED GRADE. ALL BEDLINES SHALL BE CUT FOUR INCHES DEEP AND A "V" SHAPED GROOVE TO PROVIDE A WELL DEFINED EDGE. THE LAYOUT OF ALL BEDLINES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT ON SITE PRIOR TO CUTTING.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK OUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWS, ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TREE GUYS, STAKES, SUPPORTS AND WRAPS ON SHADE OR SHRUBS DURING THE CONSTRUCTION AND MAINTENANCE PERIOD.
11. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL. TREES SHALL BE PRUNED OF ANY BRANCHES THAT INTERFERE WITH PEDESTRIANS, VEHICLES OR SIGNS. SHADE TREES MUST HAVE A SINGLE TRUNK. TREE FORM SPECIMENS. ALL PARKING LOT AND STREET TREES SHALL BE LIMBED UP TO A HEIGHT OF SEVEN FEET.
12. ANY DISCREPANCY BETWEEN THE PLANS AND FIELD CONDITIONS SHALL BE RESOLVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
13. ALL PLANTED AREAS & LAWN AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM THROUGH THE USE OF SURFACE OR SUBIRRIGATION TO PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY PLANT MATERIAL AND SOUND HORTICULTURAL PRACTICE. IRRIGATION CONTRACTOR SHALL SUBMIT PROPOSED IRRIGATION PLANS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICES. TREES AND SHRUBS SHOULD BE INSTALLED DURING THE FALL/WINTER AND SPRING SEASONS, WITH THE EXCEPTION OF TREES WHICH EXPERIENCE A FALL DORMANT HAZARD WHICH SHOULD ONLY BE PLANTED IN THE SPRING.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF 2 YEARS FROM THE TIME OF LANDSCAPE APPROVAL BY TOWNSHIP LANDSCAPE ARCHITECT AND/OR REVIEWING AUTHORITY.

FALL — AUG. 15-DEC. 15 EVERGREEN TREES
OCT. 15-DEC. 15 DECIDUOUS TREES
SPRING — MAR. 15-MAY 15 ALL PLANTS

FALL PROPOSED HAZARD
BETULA VARIETIES
CARPINUS VARIETIES
CELTIS VARIETIES
CHIONANTHUS VARIETIES
CRATAEGUS VARIETIES
FAGUS VARIETIES
HALESIA VARIETIES
ILEX OPACA VARIETIES
ALL TREE FORM EVERGREEN ILEX VARIETIES
LIQUIDAMBAR VARIETIES
MALUS DIVERSIFOLIA
MAGNOLIA LEAF
NYSSA SYLVATICA
OSTRYA VARIETIES
PRUNUS-ALL STONE FRUITS
PYRUS VARIETIES
QUERCUS-ALL OAKS EXCEPT Q. PALUSTRIS
SALIX WEEPING VARIETIES
TILIA TOMENTOSA VARIETIES
ZELKOVA VARIETIES

5 L-16 CU STRUCTURAL SOIL SPECIFICATION

NTS

Planting Details & Notes

Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE
200 Union Avenue
Rahway, New Jersey 07065
t 732.388.3444
f 732.388.3577
www.melillo+bauer.com

THOMAS J. GARRAHY
NJ LICENSED LANDSCAPE ARCHITECT
#AS01774

NO.	DATE	REVISION

SCALE: As noted
DATE: 04-14-2022 JOB NO.: 16.149

DRAWING NO.
L-16

PLANTING SPECIFICATIONS:

1.01 RELATED DOCUMENTS
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and the General Requirements, apply to work of this section.

1.02 SCOPE OF WORK
A. Extent of landscape development work is shown on the drawings and in schedules. The Contractor shall supply all equipment, materials and labor to complete the "Landscape Work" as described, which includes the following:
1. Placing and Fine Grading the Topsoil
2. Seeding and Sodding
3. Planting

1.03 RELATED SECTIONS
A. Site Preparation
B. Earthwork
C. Site Grading

1.04 REFERENCED STANDARDS
A. All plant material shall meet or, if indicated on the plant list, exceed the standards set forth in the current issue of the American Standard for Nursery Stock published by the American Association of Nurserymen (ANSI-Z60.1). Height, spread and caliper sizes shall be as indicated on the plant list.
B. Horticulture will be in accordance with manual 30 by L.H. Bailey.

1.05 SUBMITTALS
A. Certificates:
1. Details
a. Certificates of inspection as required by governmental authorities.
b. Other data substantiating that materials comply with specified requirements.
2. Topsoil Testing
a. A laboratory test shall be conducted for each source of topsoil.
b. Topsoil testing shall be done prior to planting and shall be conducted by a Certified Soil Testing Laboratory at the Contractor's expense. The testing laboratory shall take representative topsoil samples as deemed necessary and shall submit results to the Engineer and Landscape Architect.
c. Topsoil test results shall include recommendations for topsoil amendments and fertilizer rates in order to ensure a proper growth medium for seed mix and sod.
d. The topsoil test shall determine the presence of a minimum of the following:
1.) Phosphorous
2.) Potassium
3.) Magnesium
4.) Calcium
5.) Sulfur
6.) Zinc
7.) Manganese
8.) Copper
9.) Iron
10.) Boron
11.) % organic matter (by wood-dehydrated oxidation)
12.) Salt pH
13.) Buffer pH (pH = 6.4)
14.) Cation Exchange (if pH > 6.4)
15.) Soluble salts (electrical conductivity)
16.) Cation Exchange Capacity (CEC)
17.) Percent base saturation
18.) Mechanical analysis (sand, silt and clay contents)
19.) (As determined by the Bouyoucos Hydrometer Method)
3. Topsoil Amendments and Fertilizer
a. Manufacturer of vendor's certified analyses for topsoil amendments and fertilizer materials shall be submitted by the landscape architect for review and approval.
4. Seed
a. Vendor's certified seed mixture for each seed mixture required, stating botanical and common names, percentage by weight and percentages of purity, germination and weed seed for each seed species shall be submitted to landscape architect for review and approval.
5. Sod
a. Vendor's certified analysis of sod composition and other data substantiating that sod material complies with specified requirements shall be submitted to the landscape architect for review and approval.
6. Samples as required in PART 2 - PRODUCTS.

B. Landscape Schedule:
1. Contractor shall submit proposed schedule indicating dates for selection, tagging, staging, transportation, and installation of all plant material. Once schedule is accepted, revise dates only as approved in writing by the Landscape Architect after documentation of reasons for delays.

1.06 SUBSTITUTIONS
A. The Contractor shall submit a base bid as per plan.
1.) It is the Contractor's responsibility to make every reasonable effort to find the material specified.
B. It is the intent to eliminate post - bid substitutions.
C. In the event that the specified material has become unavailable, the Contractor may offer substitutions to the Landscape Architect for consideration. If he does so, he must include price clarification for such substitutions. Any substitution must be approved in writing by the Landscape Architect.

1.07 QUALITY ASSURANCE
A. Landscape work must be done by a single firm specializing in landscape work.
B. Source Quality Control
1. All trees must be tagged by the Landscape Architect prior to digging.
2. General: Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.
3. American and Standards (Topsoil Amendments): Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agriculture Chemists, whenever applicable.
4. Trees, Shrubs and Other Plant Material
a. All plant material shall meet or, if indicated on the plant list, exceed the standards set forth in the current issue of the American Standard for Nursery Stock published by the American Association of Nurserymen (ANSI-Z60.1). Height, spread and caliper sizes shall be as indicated on the plant list.
b. Contractor shall provide healthy, vigorous stock grown in a recognized nursery in accordance with good horticultural practice and free of disease, insects, eggs, and defects such as knots, sunscald, injuries, abrasions or disfigurement.
c. All plant materials shall come from sources within the same USDA / Agricultural Research Service Plant Hardiness Zone as is the Project Site and within 200 miles of the Project Site. Any material from sources outside the zone is not acceptable.
d. Balled and Burlapped Material
1.) Balled and burlapped plants shall be tag with firm rootballs free of noxious weeds. There shall be no excess soil on the top of the rootball or around the trunk.
2.) Ball sizes shall be accordance with American Association of Nurserymen Standards unless specifically noted.
e. Container grown stock shall be used only when specified and shall conform to standard ball form in 1.07 C.1.a.
5. At least 10% of each variety of trees and shrubs shall be labeled with a properly attached, waterproof tag bearing legible designation of botanical and common name.

C. Quality, Size and Inspection
1. Caliper and Height Measurement
a. Balled and Burlapped Material
1.) In size grading of single trunk trees, caliper shall take precedence over height.
2.) Caliper of trunk shall be taken at 6" above the ground level for trees up to and including 4" caliper size, and 12" above the ground level for larger trees.
3.) For multi-stemmed trees, at least one trunk must meet the caliper size.
4.) In all cases, Contractor shall make every effort to meet both caliper and height standards specified on the plans and on the schedule.
b. Container Grown Stock
1.) The size of container grown shrubs shall be measured by the height and width of the plant.
2.) Container grown trees shall be measured by the same standards as listed in 1.07 C.1.a.
3.) Herbaceous perennials shall be measured by pot size, not by growth.
4.) The root system of container grown plants shall be well developed and well distributed throughout the container such that the roots visibly extend to the inside face of the container.
3. The Contractor shall furnish quantities necessary to complete the planting as shown on the plans.
a. All plants shall equal or exceed measurements specified in the plant list which are the minimum acceptable.
b. Plants shall be measured before pruning with branches in normal position. Whenever pruning shall be done at time of planting.
c. When normal arrangements or consecutive numbers are not indicated or shown, stock shall be selected for uniform height and spread and labeled by number to assure symmetry in planting.
3. When all plant material has been selected and presagged by the Landscape Contractor, the Landscape Architect shall be notified in writing to schedule his nursery inspection with a minimum of 3 days advance notice.
a. The Contractor shall accompany the Landscape Architect on all inspections.
b. The Contractor shall have located sufficient alternate choices to prevent loss of time in the event that some trees fail to meet with the approval of the Landscape Architect.
c. All trees must be approved in the field by the Landscape Architect before digging begins.

d. Pre-selected plants available shall not be used unless nursery grown stock is not available, and then only when authorized in writing by the Landscape Architect. Collected stock shall have minimum of acceptance with American Association of Nurserymen Standards.

1.08 DELIVERY, STORAGE AND HANDLING
A. Packaged Materials
1. Deliver packaged materials in containers bearing weight, analysis and name of manufacturer.
2. Protect materials from deterioration during delivery and while stored at the site.
B. Trees and Shrubs
1. The Contractor shall provide freshly dug plant material.
2. Trees and shrubs shall not be bent or tied in such a manner as to damage bark, break branches or destroy natural shape. Damaged material will be rejected.
3. Protective covering shall be provided during delivery.
4. Roots of bare root material shall be protected during delivery and heeling to guard against drying out and damage.
a. Bare root plants, if specified, shall be puddled immediately after digging by immersing the roots in a thick mixture of clay and water so as to completely coat the roots.
b. All container grown plants shall be dropped and watered daily until planting.
5. Deliver trees and shrubs after preparations for planting have been completed, and plant immediately. Trees delivered without Landscape Architect's tags will be rejected.
a. If planting is delayed for more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable means of retaining moisture.
b. Do not remove container grown stock from protective wrapping prior to planting.
7. The Contractor shall, at loading and unloading or handling plants, be allowed zero to prevent injuries to the branches or roots.
8. The suitability of the rootball shall be carefully preserved. Plants delivered with broken rootballs will be rejected.

1.09 PROJECT CONDITIONS
A. Contractor shall coordinate with Engineer's Planting Schedule in order to proceed with, and complete, landscape work as rapidly as portions of the site become available (working within seasonal limitations for each kind of landscape work, required).
B. Contractor shall determine location of underground utilities and shall perform work in a manner which will avoid possible damage. Hand dig as required.
C. Grade stakes shall be maintained until they are removed as mutually agreed upon by all parties concerned.
D. When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or compaction etc., the Contractor shall notify the Landscape Architect immediately.
E. Ground planting of trees and shrubs occur after lawn work. Lawn areas shall be protected and damage to lawns resulting from planting operations shall be promptly repaired.

F. Cleanup and Protection
1. During Landscape work keep pavements clean and work area in an orderly condition.
2. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades, and trespassers.
3. Trees, noses or reduce damaged landscape work as directed by Landscape Architect.

1.10 INSPECTION AND ACCEPTANCE
A. When landscape work is completed, including maintenance, Engineer and Landscape Architect will, upon request, make an inspection to determine acceptability.
1. Landscape work may be rejected for acceptance in parts agreeable to Landscape Architect and Engineer, provided work offered for inspection is complete, including maintenance
2. When inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until re-inspected by Landscape Architect and Engineer and found to be acceptable. Remove rejected plantings and materials promptly from project site.

1.11 WARRANTY
A. The Contractor shall guarantee all plant material replaced under the Contract for a period of one (1) year after the Landscape Architect's acceptance of all planting at no additional cost to the Owner.
B. The Contractor shall replace any dead, unhealthy or plants that are dead or that are, in the opinion of the Landscape Architect, unhealthy, unsightly or have lost their design value or natural shape because of dead branches, extensive pruning, or exposure to improper maintenance. All the above mentioned material will be removed immediately upon direction of the Landscape Architect and replacement planting is to be done no later than the succeeding season.

PART 2 - PRODUCTS

2.01 TOPSOIL
A. All topsoil, both newly furnished and stockpiled (if any), shall be tested by a certified independent soil testing laboratory. (The tests required are listed under 1.05.A.2.) These tests will determine the appropriate amendments, as well as application rates of such amendments, necessary to bring the topsoil to the desired condition.
B. Topsoil shall consist of loam with at least 2% organic matter determined by loss on ignition of moisture free samples. The acidity range shall be pH 5.0 to 7.5 not alike. The mechanical analysis of the soil shall be:

	Passing	Retained On	Percentage
1" Screen			100%
1" Screen	1/4" screen (Gravel)		3%
	not more than		
1/4" Screen	#100 USS sieve (coarse, medium and fine sand)		40% - 60%
#100 USS Sieve	(Very fine sand, silt and clay in equal proportion)		40% - 60%

C. All topsoil, both newly furnished and stockpiled (if any), shall be natural topsoil, sandy loam free from subsoil, and obtained from an area which has never been stripped. Topsoil shall be of uniform quality, free from hard clods, hard pan, stones larger than 1/2" lime, perennial weeds, stiff, compacted, fair nutrition, forked taproots, sticks, sticks or any other undesirable material.
D. Topsoil must also be free of plants or plant parts in Dermatogenous, Quackgrass, Johnsongrass, Mugwort, Nutsedge, Poison Ivy, Canadian Thistle, etc.
E. Topsoil shall not contain lime, substances harmful to plant growth, i.e. pesticide residuals.
F. No topsoil shall be stockpiled, screened, mixed or worked in a wet or frozen state.
G. Submit samples of topsoil along with Certified Soil Test Analysis for review and acceptance prior to transport of topsoil to site.
H. All disturbed areas are to be well vegetated by 10" and replaced with approved topsoil mixture.

2.02 PLANTING BACKFILL MIXTURE
A. The planting backfill mixture shall be thoroughly mixed by hand or mixer prior to the installation of the Landscape Architect or his representative.
1. Deciduous Plants: Topsoil mixture for backfilling planted areas shall consist of four (4) parts by volume of topsoil thoroughly mixed with one (1) part of peat moss or stable manure, and five (5) ounces of bone meal per cubic yard.
2. Evergreen Plants: Topsoil mixture for backfilling planted areas shall consist of three (3) parts by volume of topsoil thoroughly mixed with one (1) part of peat moss or humus.
B. All planting areas are to be over excavated by 18" and replaced with approved planting backfill mixture.

2.03 SOIL AMENDMENTS
A. Lime: Material shall be ground or pulverized limestone which contains at least 50% total oxides, or calcium oxide plus magnesium oxide. Limestone shall be ground to such fineness that at least 50% will pass through a #20 mesh sieve and 98-100% will pass through a 20-mesh sieve. Granular or pelleted lime may be used but it must follow the same specifications as above (not to being granulated or pelletized. Application shall be determined by soil test recommendations, which shall be provided to the landscape architect.
B. Humus: Peat, Commercial grade
C. Peat Moss: Type 1 sphagnum peat moss, finely divided with a pH of 3 to 5.5.
D. Sphagnum Peat: Decomposed peat containing no identifiable fibers.
E. Leaf Compost: Screened and free of foam
F. Fine Sand: Washed grade pure sand with no particle size larger than 1/2" and less than 10% wood fiber.
G. Stone Meal: Finely ground and with a minimum analysis of 2% nitrogen and 20% available phosphorus acid.
H. Sand: Clean washed and free of soluble salts.
I. Fertilizer: Conforming to the National Bureau of Standards PS 20.
J. Commercial: Horticultural grade, free of toxic substances.
K. Bone Meal: Finely ground, free of lime, stones, shells and or bone splinters and with 2.5 pounds nitrogen uniformly mixed into each cubic yard of material.
L. Manure: Well rotted, screened stable or cattle manure containing not more than 25% by volume of straw, sawdust or other bedding materials and containing no chemicals or ingredients harmful to plants.

2.04 FERTILIZER
A. All fertilizer shall be granular pills, pellets or prills with 35% to 50% of the total nitrogen in a slow release form.
B. For trees, shrubs and groundcover: Fertilizer shall be complete with a minimum analysis of 10% nitrogen, 6% phosphorous and 4% potassium. Field rates will be ratio of 4-1-2 (i.e. 24% nitrogen, 6% phosphorous and 12% potassium) shall be used for weekly plants.
C. For perennials, annuals and bulbs: Fertilizer shall be a complete fertilizer that is slow released.
D. All fertilizers shall be uniform in composition, free flowing and suitable for application with approved equipment. Fertilizers shall be delivered to the site fully labeled according to applicable State fertilizer laws and shall bear the name, trade name or trade mark, and warranty of the producer. Application rates shall be determined by soil test recommendations.

2.05 WEED CONTROL
A. Any herbicide used must be approved by Federal and State Authorities for use in the State of Jersey.
B. Contractor shall submit the name and scientific or broad-leafed herbicide to be used to Landscape Architect for approval prior to any weed control applications.
C. Application rates shall be as approved by amount of weed control required and shall be as per manufacturer's recommendations.
D. Contractor shall post warning flags in all areas treated with weed control.

2.06 MULCH
A. Shredded Hardwood Bark Mulch
1. Material shall be composed, double-shredded hardwood bark (or pine bark with less than 10% sapwood), dark brown in color, or approved equal.
2. Material shall be uniform in size, free of foreign matter and suitable for backmixing of trees, shrubs or perennials.
3. Samples shall be submitted to Landscape Architect for approval prior to purchase and delivery.
B. Mulch for Seeded Areas
1. Straw shall be free of rot, mildew, noxious weed seeds and shall be small-grained, such as wheat or barley.
2. Cellulose fiber mulch shall be a commercially processed cellulose material in a uniform fibrous physical state. The fiber mulch, including dye, shall contain no germination or growth inhibiting factors. The mulch material shall be manufactured and processed in such a manner that the cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch shall cover and hold seed in contact with the soil without inhibiting the growth of seedings.
3. Pre-blended wood chips may not shall be sawed and may contain light weight plastic netting on one or both sides.
4. Stabilizing Materials
a. Mulch anchoring tool is a mechanical implement designed to punch and anchor mulch into the soil before it shrinks or blows.
b. Cellulose fiber may be used as anchoring crew. The fiber binding shall be applied at a rate dry weight of 750 pounds per acre. The cellulose fiber may be mixed with water. The mixture shall contain a minimum of 50 pounds of cellulose fiber per 100 gallons of water.
c. Liquid Mulch Binder
1.) Binder shall be non-asphaltic liquid concentrate diluted with water forming a transparent, 3-dimensional, flexible film that permeable to air and water and containing no agents toxic to seed germination.
2.) Application of liquid mulch binder shall be heavier at the angles in mulched areas where wind dislodges the mulch.
3.) Liquid mulch binder shall be applied uniformly at a rate of 6 gal./yd.
d. Mesh Netting: Stand light weight plastic netting are the mesh according to manufacturer's recommendations. Staples shall be either ground level or removed once seed is established.

2.07 GUYING AND STAKING
A. Stakes
1. Wood stakes shall be 2" diameter cedar, or approved equal, for vertical staking of trees. See tree staking detail for lengths and quantity of stakes.
B. Wire for Guying and Staking
1. The staking wire shall be 12 gauge galvanized annealed steel, or approved equal, double strand, twisted.
C. Hose
1. Hose shall be corded rubber, uniform in color and not less than 1/2" inside diameter.

2.08 TREE WRAP
A. Tree wrap shall be of durable, first quality, at least 2 oz. in weight.

2.09 ANTI-DESICCANT
A. Anti-desiccant shall be emulsion type, film forming agent designed to prevent transpiration but should not cause loss of moisture from plants.
B. Deliver in Manufacturer's fully identifiable containers and mix in accordance with Manufacturer's instructions.

2.10 PLANT MATERIALS
A. Deciduous Trees
1. Provide trees of height and caliper scheduled or shown and with branching configuration recommended by ANSI-Z60.1 for type and species indicated.
2. Provide single stem trees except where otherwise specified.
3. Provide balled and burlapped material unless otherwise specified.
B. Shrubs
1. Provide shrubs of height and/or spread scheduled or shown and with root mass than the minimum number of canes required by ANSI-Z60.1 for type and height indicated.
2. Provide balled and burlapped material unless otherwise indicated.
C. Conifers and Broadleaved Evergreens
1. Provide evergreens of sizes scheduled or shown and with branching configuration recommended by ANSI-Z60.1 standards.
2. Provide balled and burlapped material unless otherwise specified for spreading and multi-leading type evergreens, and height for other types of evergreens such as globe, cone, dwarf, pyramidal, broad upright and columnar.
3. Provide quality evergreens with well balanced form complying with requirements for color and relationships to the primary dominant indicated.
4. Provide balled and burlapped material unless otherwise indicated.
D. Container Grown Stock (Perennials, Groundcover Grasses and Perennials)
1. Provide container grown material conforming to ANSI-Z60.1 specifications for container grown stock.
E. All plant material shall conform to standards set forth in 1.01.B.4 and 1.07.C.

2.11 SEED
A. Lawn Seed
1. Provide fresh, clean, new-crop seed complying with tolerances for purity and germination established by the Official Seed Analysts of North America.
2. Lawn Seed shall consist of a blend of seed by Kalmbacher Seed Co. of NJ, New Brunswick, NJ (732) 247-3400 and shall contain the following:
80% Pickel 32, Reber Jr. or Rebel III Tall Fescue
10% Palmer II Perennial Ryegrass
10% Pennfine Kentucky Bluegrass
3. Seeding Rates shall be as follows:
4. Seeding new lawns: 200 lbs/ac.

2.12 SOD
A. The sod composition shall be as follows:
1. 80% Pickel 32, Reber Jr. or Rebel III Tall Fescue
2. 10% Palmer II Perennial Ryegrass
3. 10% Pennfine Kentucky Bluegrass
B. The sod shall be of good texture, free from dandelions, moss, stones, and foreign material. Sod shall be from cultivated sod, weed, disease- and nut-free.
C. Sod shall be obtained from areas having growing conditions similar to the areas being leveled. Sod shall have a dense growth of employable grass and shall be machine cut with not less than 1" barely sand. Sandy soil is to be used.
D. Individual pieces of sod shall be cut to the supplier's standard width and length. Maximum allowable deviation from standard width and length shall be 5%. Broken pieces or torn or uneven edges will not be accepted.
E. Damaged sod sections of sod shall be strong enough to support their own weight and retain their shape when suspended vertically from a firm grasp on the upper 10% of the section.
F. Sod shall not be harvested or transplanted under drought conditions. If the soils dry, sod shall be watered sufficiently to moisten the soil to depth at which the sod is to be cut.
G. During the transport vehicle will not be permitted. Damaged sod or sod that has turned yellow in color will be rejected. Sod shall be inspected at the delivery by the Landscape Architect and any sod that does contain the weed or grass species will be rejected and removed from the job site at the Contractor's expense.
H. Sod shall be harvested, delivered and installed within a period of 24 hours. However, if high temperature and low relative humidity conditions occur, installation should occur within 24 hours of harvest. Sod not transplanted within these time periods shall be removed from the job site at the Contractor's expense.

PART 3 - EXECUTION

3.01 SEEDING NEW LAWNS
A. Preparation of Subgrade
1. Work shall proceed only after rough grading has been completed and the subgrade is within 2/10 of 1' (0.2') of the final subgrade.
a. If the subgrade area develops noxious weed growth, the growth must be eliminated prior to seeding operations.
2. Grade areas to be seeded shall be established in accordance with the drawings shall be maintained in a true and even grade.
3. Loosen subsoil of lawn areas to a minimum depth of 6". Remove all stones over 1" inches, roots, rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation. Subject areas shall be inspected by the Landscape Architect and/or Engineer after tilling and prior to any scattering of topsoil.
4. Limestone shall be spread and worked into the subsoil at an application rate determined by soil test analysis.
B. Spreading Topsoil
1. A minimum of 6" of topsoil shall be spread over prepared subgrade.
2. Spread topsoil to a uniform depth (equal to lawn area), grades and elevations shown, after light rolling and natural settlement. Add specified soil amendments based upon the certified lab test results and mix (by rake or other mechanical means) thoroughly into the topsoil.
3. Spreading of topsoil shall be performed in such a manner that compacting will not proceed with a minimum of additional soil preparation and tillage.
4. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
5. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in any condition that may otherwise be determined to prevent proper grading and/or seeding.
6. Apply fertilizer at rates recommended by the certified lab test results and thoroughly rake into the topsoil.
a. Delay application of fertilizer if lawn planting will not follow within a few days.

C. Fine Grading
1. Fine grade lawn areas to smooth even surface with loose, uniformly fine texture. Roll, rake and drag lawn areas, remove ridges and fill depressions as required to meet finished grades. Limit fine grading to areas which can be planted immediately after grading.
2. Moisture prepared lawn areas before planting, if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create muddy soil conditions.

D. Preparation of Unchanged Grades
1. Where lawns are to be planted in areas that have not been altered or disrupted by excavating, grading or compaction operations, prepare soil for lawn planting as follows:
a. Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material properly. Do not turn over into soil being prepared for lawns.
b. Till soil to a depth of 6" and apply soil amendments as recommended by soil test analysis. Remove high areas, fill in depressions and till soil to a homogeneous mixture of fine texture, free of lumps, clods, stones over 1/2", roots and other extraneous matter.
2. Apply commercial fertilizer at rates recommended by the certified lab test results and thoroughly rake into top 4" of soil. Delay application of fertilizer if lawn planting will not follow within a few days.

E. Seeding
1. Prior to seeding operations, the Landscape Architect and/or Engineer shall inspect and approve final grading and topsoil preparation.
2. Seeding shall be performed within the following schedule: March 15 to May 15; August 15 to September 15. These periods may be extended or reduced according to prevailing weather conditions and approved by the Landscape Architect. Seeding shall also be executed as per growers recommendations.
3. No seeding shall be done when frozen ground or when temperature is 32 degrees or lower.
4. No seeding shall be permitted after a rain (unless surface of ground is saturated) or when the velocity of the wind exceeds a gentle breeze of 8 MPH. Extreme care shall be exercised during seeding and raking so that no change in grade or finish are all.
5. Do not seed on frozen, muddy, crusted or otherwise damaged in bands or stripes.
6. Sow seed using a contractor of seeding machine. Distribute seed evenly over entire area by sowing equal quantity in 2 directions at right angles to one another. Hydroseeding will not be permitted.
7. Sow not less than the quantity of seed specified in the seeding schedule.
8. Rake seed lightly into the top 1/8" of soil, roll lightly and water with a fine spray.
9. Protect seeded areas against erosion by spreading mulching material over entire area.
10. Protect seeded areas against erosion by spreading mulching material over entire area.
11. Protect seeded areas against erosion with erosion netting or other methods acceptable to the Landscape Architect.
12. Anchor mulch with stabilizing material. Take precautions to prevent damage, or staining, of construction or other plantings adjacent to mulched areas.
13. In the absence of rain, the newly seeded areas shall be watered 2-3 times daily at 10:00 a.m., 12:00 p.m. and/or 2:00 p.m.

F. Maintenance of Seeded Lawns
1. Contractor shall maintain seeded lawns and final acceptance by the Landscape Architect, but in no case less than 60 days after completion.
a. If seeded in the fall and not grown a full 60 days of maintenance, or if not acceptable at that time, continue maintenance the following spring until acceptable lawn is established.
2. The Contractor's responsibilities for maintenance are to be continuous to the time of final acceptance. They are to include, but not limited to, the following:
a. Re-seeding of any bare areas
b. Proper and adequate watering. Irrigation will be provided by the owner and will be made available for the contractor's use.
c. Re-filling of any washed gullies and rolled areas.
d. Re-fertilization and lime applications as recommended by soil test analysis.
e. Weed and pest control
f. Re-sowing and re-seeding of any area which fails to show a uniform stand of grass shall be done at the Contractor's expense with the same seed mixture applied at the same rate as originally specified, repeated until all areas are covered with a satisfactory stand of grass.
g. Mowing of grass to a height of 2" - 3" when grass attains a height of 4" or when growth tends to smother new seedings. Do not remove more than 1/3 the blade of grass at any one time. A minimum of 3 mowings are to be completed after lawn has been accepted.
1.) Mowing operations shall include trimming around all obstacles, raking expressive grass clippings and removing debris from walks, curbs and parking areas. Weed eaters shall not be used around plant material.
2.) Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from edging operations shall be removed and the area swept clean.

3.02 SODDING (Where applicable)
A. Preparation of Subgrade (Follow procedure set forth in 3.01.A)
B. Spreading of Topsoil (Follow procedure set forth in 3.01.B)
C. Fine Grading (Follow procedure set forth in 3.01.C)
D. Preparation of Unchanged Grades (Follow procedure set forth in 3.01.D)
E. Sodding
1. Prior to sodding operations, the Landscape Architect and/or Engineer shall inspect and approve final grading and topsoil preparation.
2. During periods of high temperature and low relative humidity, topsoil should be lightly irrigated immediately prior to the laying of sod. Allow surface moisture to dry before sodding. Do not create muddy soil conditions.
3. The first row of sod shall be laid adjacent to walkways and/or borders under direction of the Landscape Architect. Subsequent rows shall be staggered lightly against each. Lateral joins shall be staggered to promote surface growth. Cuts shall be perpendicular to ensure that the sod is not stretched or overlapped and that all joints are butted tightly in order to prevent voids.
4. All coverage in the sod must be staggered with sod and all joints between and shall be filled with topsoil.
5. On sloping areas where erosion may be a problem, sod should be installed with staggered joints and secured by wooden stakes as shown to prevent loss of sod during establishment, rather remove stakes or drive stakes flush with the ground level once sod has rooted.
6. Sod must be lightly watered during installation to prevent wilted drying.
7. As sodding is completed in any one section, the entire area shall be rolled to incorporate the sod with the soil. It shall then be thoroughly watered so that the moisture of the new sod and the soil immediately below the sod is thoroughly wet.

F. Maintenance of Sodded Lawns
1. Contractor shall maintain sodded lawns and final acceptance by the Landscape Architect, but in no case less than 60 days after completion.
a. If sodded in the fall and not grown a full 60 days of maintenance, or if not acceptable at that time, continue maintenance the following spring until acceptable lawn is established.
2. The Contractor's responsibilities for maintenance are to be continuous to the time of final acceptance. They are to include, but not limited to, the following:
a. Re-sodding of any bare areas
b. Proper and adequate watering
1.) First week. Soil and the sod must be all times. Watering shall be performed daily or as often as necessary to maintain moist soil to a depth of at least 3".
2.) Second and subsequent weeks. Water the sod on request to maintain adequate moisture in the upper 4" of the soil to promote deep root growth. Once sod is well rooted, as determined by the Landscape Architect and the Engineer, less frequent and heavier daily watering should be maintained to encourage deep root growth. Total watering should be the equivalent of 1" of water per week (only like a combination of rainfall and irrigation).
c. Re-filling of any washed gullies and rolled areas
d. Re-fertilization and lime applications as recommended by soil test analysis
e. Weed and pest control
f. Re-sodding and re-sodding of any which fails to show a uniform stand of grass shall be done at the Contractor's expense with the same seed mixture, and repeated until all areas are covered with a satisfactory stand of grass.
g. Mowing of grass to a height of 2" - 3" when grass attains a height of 4" or when growth tends to smother new seedings. Do not remove more than 1/3 the blade of grass at any one time. A minimum of 3 mowings are to be completed after lawn has been accepted.
1.) Mowing operations shall include trimming around all obstacles, raking expressive grass clippings and removing debris from walks, curbs and parking areas. Weed eaters shall not be used around plant material.
2.) Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from edging operations shall be removed and the area swept clean.

3.03 TREE PLANTING
A. No tree planting operations shall take place until planting of topsoil has been completed.
B. Locations of plant material shown on plans are approximate. Contractor shall stake and establish utility locations prior to staking to avoid conflicts. Final locations will vary from plan and shall be determined in the field under the direction of the Landscape Architect.
C. Contractor shall provide pre-planted, root-balled bags for all shade trees, evergreen trees and flowering trees, with abbreviations that correspond with the Plant List.
D. Landscape Architect shall place the root-balled bags to indicate plant locations.
E. Contractor shall place trees, shrubs and perennials in accordance with the Regional Nursery Standards. The Landscape Architect may request the Contractor to move, remove or relocate the plant material at the time. Under no circumstances shall the Contractor pre-dig tree pits.
F. Upon final approval by the Landscape Architect of tree placement, the Contractor shall point a circle around the ball of the tree, move tree and excavate tree pit.
G. Deciduous Tree Pits
1. Contractor to stake out excavation utility clearance prior to excavation.
2. Walls of tree pits shall be dug so that they are vertical, or sloping outward in heavy soils, and scarified. Excavation shall be slightly raised in the center to provide proper drainage.
3. Tree pits must be a minimum of 2' greater in diameter than the ball of the tree or the spread of its roots.
4. The depth of the tree pit shall be as deep as necessary to accommodate the ball of the tree so that it will not be necessary to cane or lower the tree to bring it to the required grade. Tree pits shall be deep enough to allow 1/3 of the ball of the tree to be above finished grade. Plants shall not be unbalanced ensuring well or well-compacted backfill.
5. Dispose of subsoil removed from planting excavations. Do not mix with planting soil or use as backfill.
6. When tree pits have been dug, the Contractor shall partially fill with water a representative number of pits in each area to determine that there is adequate percolation in the subgrade at each pit. If not, notify the Landscape Architect immediately.
H. Planting Trees
1. Place tree in pit by carrying by the root ball and lowering into pit.
2. Remove container from all container grown stock and slash the edges of the root-ball burlap to bottom, at least 8" deep, making 4-6 cuts. The opening of cuts may not be required for container grown stock.
3. Set shrub straight and in the center of the pit with the most desirable side facing the prominent view.
4. Cut and remove all wire and top 3/4 of burlap from root-ball and pull burlap back to the edge of the root-ball. Remove as much burlap, woven products and twine as possible. All plastic or synthetic film must be removed from rootball. Cut all twine away from trees.
I. Backfilling Shrub Pit
1. Follow procedure set forth in 3.03.H.
J. Pruning
1. Prune out any dead or broken branches.
2. Prune hedges as directed by Landscape Architect.
3. Root pruning shall be done after shrubs are in place.
4. Remove all tags, labels, strings and wires from shrubs (unless otherwise directed by Landscape Architect.
5. Remove and replace damaged or improperly pruned shrubs resulting from improper pruning.
6. After final pruning, apply anti-desiccant where appropriate, using power spray to provide an adequate film over leaves, branches, stems, twigs and foliage.
K. Maintenance
1. Follow procedure as set forth in 3.03.N.

3.05 PLANTING GROUNDCOVER AND PERENNIALS
A. Preparation of Planting Beds
1. The entire bed subgrade shall be dug 8" deep. Remove any stones over 1", debris, roots, rubbish and any other extraneous matter.
2. Dig beds not less than 8" deep and work in with soil amendments and fertilizer as recommended by soil test analysis.
3. Spread soil and mix in a manner that will meet the finished level, grades and elevations shown, after light rolling and settlement as follows:
a. Place approximately 1/3 the total amount of planting soil required and work into the top of the loosened subgrade to create a transitional layer.
b. Place remaining soil.
4. Mulch entire planting bed with 3" shredded hardwood bark mulch.
B. Planting Plants
1. Before planting, biodegradable pots made of soft and non-biodegradable pots must be removed. Heat systems of all potted plants will be sold or stunted.
2. Plants shall be unwrapped and the root ball shall be set into the hole with the root ball surrounded by and below the mulch.
a. Potted plants shall be set so that the top of the pot is even with finished grade.
b. Root balls of bare root plants shall be spread to the sides.
3. The entire bed shall be thoroughly watered.
4. Treat the mulched and planted bed with a pre-emergent herbicide only as directed by the Landscape Architect. Apply only when foliage is dry to prevent foliar burn.
C. Maintenance
1. Maintenance shall be as set forth in 3.03.N.
2. In addition, Contractor shall maintain perennials as follows:
a. If a time-release fertilizer has been incorporated during plant installation, no more fertilizer need be applied during the first growing season.
b. After the first growing season
1.) Fertilize perennials with a slow-release fertilizer or any 30% organic fertilizer, or mulch perennials with compost 1" deep.
2.) Cut all dead stems (perennials) back to the ground March 1. If not done the previous fall, to allow new growth to develop freely.
a.) Chemically dispose of the cut back only in the spring unless otherwise directed by Landscape Architect.
3.) Mulch perennial bed once, in early spring, at 1/2" to 1" depth. If soil is turned in late fall, remulch lightly after ground is frozen to protect perennials.
4.) Inspect and repair fence and stakes as needed.

Planting Specifications

Exchange Place
Jersey City, NJ

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NJ LICENSED LANDSCAPE ARCHITECT
License No. 21A00101

REV. DATE	REVISION
SCALE: As Indicated	
DATE: 06-14-2022	JOB NO.: 18-147

DRAWING NO.
L-17

Exhibit H

EXCHANGE PLACE

JERSEY CITY, NEW JERSEY

LANDSCAPE ARCHITECTURE PLANS

MELILLO+BAUER ASSOCIATES
Landscape Architecture

OWNER
CITY OF JERSEY CITY
280 GROVE ST.
JERSEY CITY, NJ 07302
PHONE (201) 547-5000

DEVELOPER
EXCHANGE PLACE ALLIANCE
HARBORSIDE 2
200 HUDSON STREET, SUITE 801
JERSEY CITY, NJ 07311
PHONE (201) 918-4200

DEVELOPER'S REP
SJP PROPERTIES
95 GREEN ST.
JERSEY CITY, NJ 07302
PHONE (201) 433-1723

LANDSCAPE ARCHITECT
MELILLO + BAUER ASSOCIATES
LANDSCAPE ARCHITECTURE
300 UNION AVENUE
BRIELLE, NEW JERSEY 08730
(732) 528-0664

CIVIL ENGINEER
DRESDNER ROBIN
1 EVERTRUST PLAZA, SUITE 901
JERSEY CITY, NJ 07302
(201) 272-9200

STRUCTURAL ENGINEER
THORNTON TOMASETTI
51 MADISON AVENUE
NEW YORK, NY 10010
(917) 661-7800

LIGHTING CONSULTANTS
BEAM LTD
428 WEST WAVERLY ROAD
GLENSIDE, PA. 19038
(215) 508 0900

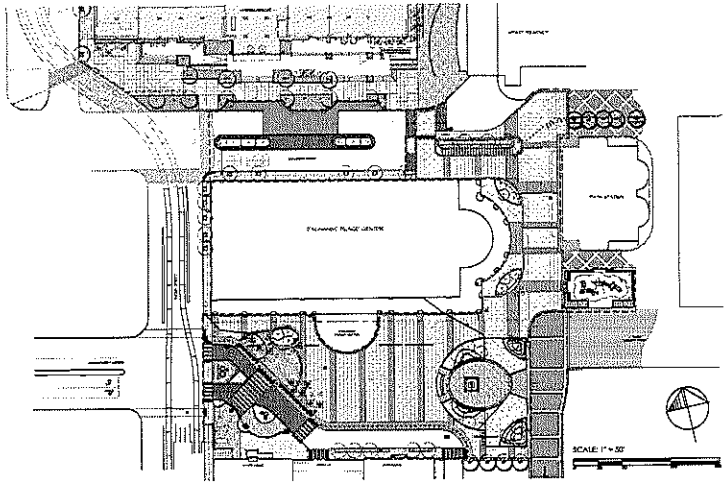
ENVIRONMENTAL GRAPHICS
LEVERAGE DESIGN GROUP
(617) 970 7195

GEOTECHNICAL ENGINEER
MUESER RUTLEDGE CONSULTING ENGINEERS
14 PENN PLAZA
225 WEST 34TH STREET
NEW YORK, NY 10122
(917) 339-9300

CONSTRUCTION DOCUMENTS: *ISSUED FOR PERMIT*

Project: Exchange Place (16-149)

DRAWING LIST		DATE	STATUS
L-000	Cover Sheet	06/10/2022	Issued for Permit
L-100	Overall Site Plan	06/10/2022	Issued for Permit
L-101	Enlargement Site Plan - Materials	06/10/2022	Issued for Permit
L-102	Enlargement Site Plan - Materials	06/10/2022	Issued for Permit
L-103	Enlargement Site Plan - Materials	06/10/2022	Issued for Permit
L-104	Overall Site Plan - Dimensioning	06/10/2022	Issued for Permit
L-105	Overall Site Plan - Security	06/10/2022	Issued for Permit
L-200	Overall Landscape Plan	06/10/2022	Issued for Permit
L-201	Enlargement Landscape Plan - Planting	06/10/2022	Issued for Permit
L-202	Enlargement Landscape Plan - Planting	06/10/2022	Issued for Permit
L-203	Enlargement Landscape Plan - Planting	06/10/2022	Issued for Permit
L-300	Site Details	06/10/2022	Issued for Permit
L-301	Site Details	06/10/2022	Issued for Permit
L-302	Site Details	06/10/2022	Issued for Permit
L-303	Site Details	06/10/2022	Issued for Permit
L-304	Site Details	06/10/2022	Issued for Permit
L-305	Site Details	06/10/2022	Issued for Permit
L-306	Site Details	06/10/2022	Issued for Permit
L-400	Planting Details & Notes	06/10/2022	Issued for Permit
L-401	Planting Specifications	06/10/2022	Issued for Permit



GENERAL NOTES:

1. 1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
2. ALL GRADING SHALL BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION AND SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER.
3. ALL PAVING SURFACES SHALL BE FLUSH AND MEET SMOOTHLY AND EVENLY. NO WALKS SHALL EXCEED 5% OR A 2% CROSS-PITCH. ALL WALKS TO BE LAID OUT IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
4. ALL SITE DETAILS SHALL BE REVIEWED AND SUPPLEMENTED BY THE CIVIL ENGINEER (DRESDNER ROBIN) AND STRUCTURAL ENGINEER (THORNTON TOMASETTI). REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
5. ALL PLANTED AREAS SHALL BE IRRIGATED WITH DRIP IRRIGATION AND LAWN AREAS WITH SPRAY IRRIGATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS.
6. ALL PLANT MATERIAL/LANDSCAPE MATERIALS SUBSTITUTIONS SHALL BE APPROVED BY THE LA./OWNER'S REPRESENTATIVES.
7. ALL BASE INFORMATION WAS TAKEN FROM DRESDNER ROBIN ENGINEERING.

ARCHAEOLOGICAL / GEOTECHNICAL REPORT NOTES:

1. THE CONTRACTOR SHALL REVIEW THE ARCHAEOLOGICAL MONITORING PLAN, DATED OCTOBER, 2019, AS PREPARED BY RICHARD GRUBB & ASSOCIATES. CONTRACTOR TO MAKE THEMSELVES FAMILIAR WITH THE REPORT FINDINGS AND THEIR IMPACT ON THE PROJECT SCOPE.
2. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT, ORIGINALLY DATED SEPTEMBER 11, 2016 WITH REVISED DATE OF OCTOBER, 12, 2018, AS PREPARED BY MUESER RUTLEDGE CONSULTING ENGINEERS. CONTRACTOR TO MAKE THEMSELVES FAMILIAR WITH THE REPORT FINDINGS AND THEIR IMPACT ON THE PROJECT SCOPE.
3. CONTRACTOR TO NOTIFY ALL STATE AND LOCAL AGENCIES AS REQUIRED PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
4. CONTRACTOR TO CONFIRM AND PROCURE ALL PERMITS NECESSARY AND AS REQUIRED BY THE ABOVE REPORTS PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
5. BOTH REPORTS SHALL BE MADE AVAILABLE TO THE CONTRACTOR BY OWNERSHIP. THE EXCHANGE PLACE ALLIANCE, HARBORSIDE 2, 200 HUDSON STREET, SUITE, 801, JERSEY CITY, NEW JERSEY, P: 201-918-4203.

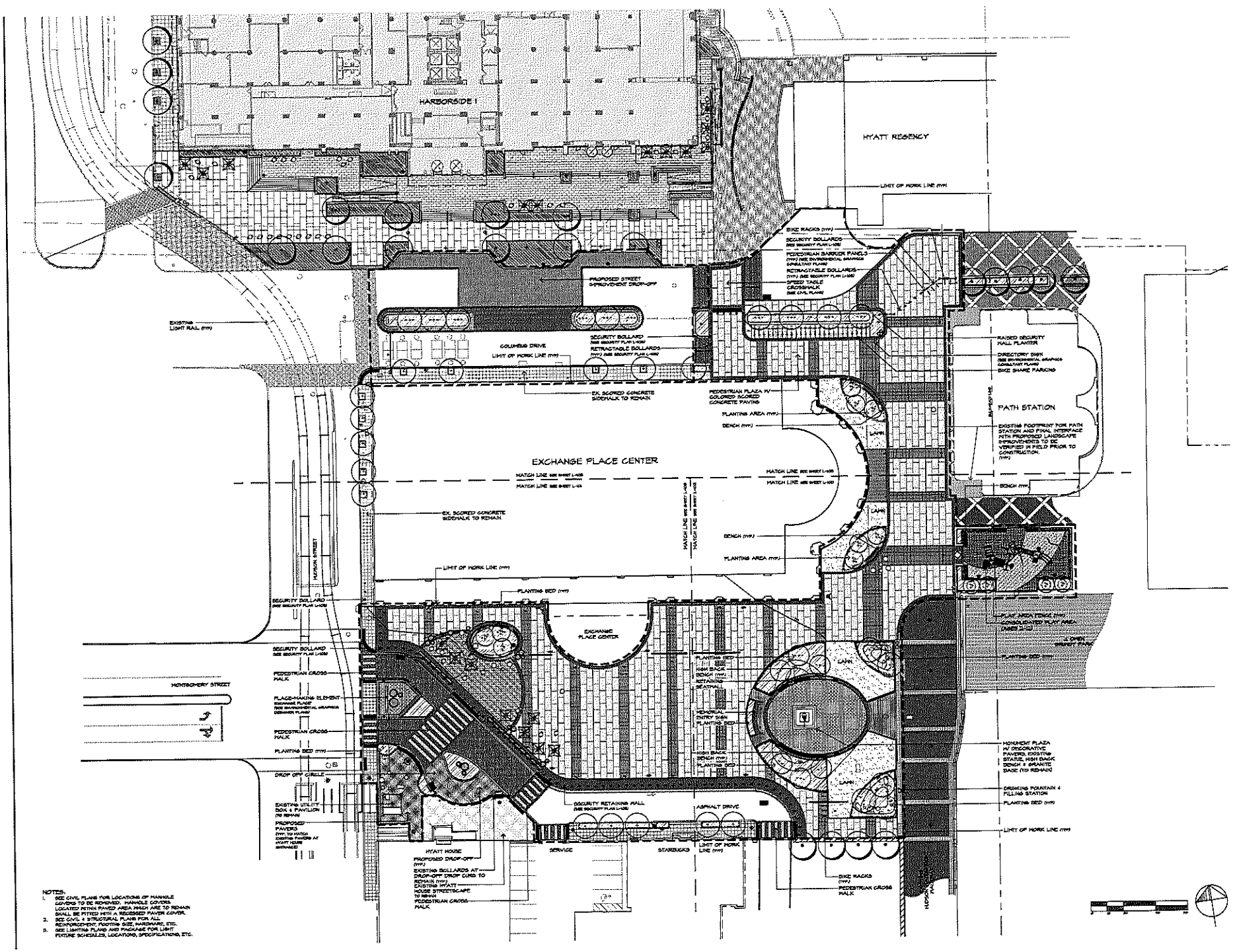
7/6/2021 Project: Exchange Place Project # 16-149

MELILLO+BAUER ASSOCIATES

Hardscapes

Key	Detail	Material	Color/Finish	Manufacturer
A1 A2	L/L-300 L/L-300	3"x7" Press Brick, Planktiles Paver Sand	Color A (50%): Charcoal (A1) Finish: Tudor Finish Color Color B (50%): Super Black (A2) Finish: Tudor Finish	Hanover Architectural Products Phone: 717 637 0850
B1	L/L-300	12x24 Concrete Paver	Color: Limestone Gray Finish: Tudor Finish	Hanover Architectural Products Phone: 717 637 0850
C1	L/L-300	Detectable Warning Paver	Color: Charcoal Finish: Natural Finish	Hanover Architectural Products Phone: 717 637 0850
D1 D2	L/L-300	Colored Concrete Pavement	Color A: Charcoal (D1) Color B: Cool Gray (D2) Finish: Light Broom	L.M. Scofield Phone: 1800 800 8900
E1, E2	L/L-300	4"x8" Vehicular Permeable Paver	Model: Hanover Prest Brick Color 1: Traditional Charcoal (E1) Color 2: Traditional Natural (E2) Finish: Natural Finish	Hanover Architectural Products Phone: 717 637 0850
F1	L/L-300	Colored Concrete Curb	Color: Cool Gray Finish: Light Broom	L.M. Scofield Phone: 1800 800 8900
G1	L/L-300 L/L-300	Security Bollard: Shallow Fixed	Model: PDT10080SMF Color: Stainless Steel / Finish: T316	Cal Pipe Security Bollards Phone: 877 283 8538 (see Note #5)
G2	L/L-306	Security Bollard: Super Shallow Fixed	Model: PDT10080SMF Color: Stainless Steel / Finish: T316	Cal Pipe Security Bollards Phone: 877 283 8538 (see Note #5)
H1	L/L-300	Security Bollard: Automated Retractable	Model: ASPM0066K Color: Stainless Steel / Finish: T316	Cal Pipe Security Bollards Phone: 877 283 8538 (see Note #5)
I1	L/L-301	Retaining Wall**	Color: Cool Gray Finish: Grade 2 (Shelf and Pedestal)	L.M. Scofield Phone: 1800 800 9900
J1 J2	L/L-301	Precast Sculptural Seating	Color: Mix #201 (J1 - Small) Color: Mix #202 (J2 - Large)	Sun Precast Phone: 732 558 8000
K1	L/L-302	Intermittent Wood Top Curved Seat Wall* @ Seating Oval: Bench "A"	Model: Rough & Ready Front Panel: Anthracite Grey (RAL 7016) Rear Panel: Telegraph 1 (RAL 7045) Wood Top: Ipe / Finish: Lowes	Street Life Phone: 215 247 0148
L1	L/L-302	Intermittent Wood Top Curved Seat Wall* @ Curved Seating: Bench "B"	Model: Rough & Ready Front Panel: Anthracite Grey (RAL 7016) Rear Panel: Telegraph 1 (RAL 7045) Wood Top: Ipe / Finish: Lowes	Street Life Phone: 215 247 0148
M1	L/L-302	Wood Top Straight Seat Wall*: Bench "C"	Model: Rough & Ready Front Panel: Telegraph 1 (RAL 7045) Rear Panel: Spring Green (RAL 6038) Wood Top: Ipe / Finish: Lowes	Street Life Phone: 215 247 0148
N1	L/L-303	Landscape Compact Bench	Model: Landscape Compact Bench Wood Color: Jatoba (Natural) Metal Color: Anthracite Gray (Ral, 7016)	minotte Phone: 609 751 0303
O1	L/L-303	Pedestrian Barrier: Decorative Panel*	Model: Shattered (STR) Mounting Clips: #PD1-250 Color: Black Lacquer	Parasoleil Phone: 303 589 4624
P1	L/L-303	Planter Barrier	Model: Cycle Barrier Color: Black Finish: Powder Coat	Greenblue Urban Phone: 866 282 3743
Q1	L/L-303	Play Area Fence	Model: 3-1 Color: Black Finish: Powder Coat	Ocma Ornamental Iron Work Phone: 732 968 7200
R1	L/L-304	Round Fiberglass Tree Planter	Model: Matrix MR6040 Color: Anthracite Finish: Matte	Old Town Fiberglass Phone: 310 534 1666
R2	L/L-304	Rectangular Precast Planter	Model: Delta Rectangle 60 Size: 55"x22"x24" Color: Anthracite Finish: Matte	Greenform, LLC Phone: 714 630 3732
R3	L/L-304	Round Precast Planter	Model: Delta Round 60 Size "A": 30" dia. x 18" ht. Size "B": 30" dia. x 18" ht. Color: Anthracite Finish: Matte	Greenform, LLC Phone: 714 630 3732
S1	L/L-305	Sculptural Planter	Model: Dune Size "A": 36" dia. x 29" ht. Size "B": 60" dia. x 40" ht. Size "C": 72" dia. x 29" ht. Color: Graphite Finish: Sandblasted	Kemsley Design Phone: 877 252 6323
T1, T2	L/L-305	Safety Surfacing	Model: Poured In Place (P.I.P.) Rubber Color 1: Teal (S1) Color 2: Royal Blue (S2) Finish: Aliphatic Urethane Finish (for both)	Surface America Phone: 800 999 0865
U1	L/L-305	Bike Rack	Model: FGP Bike Rack Color: Silver Finish: Metal/Polyester Powder Coat	Landscape Forms Phone: 908 245 0477
V1	L/L-305	Bottle Filling Station & Dog Fountains	Model: 1015S2M Color: Textured Sapphire Finish: Powder Coat	Most Dependable Fountains Phone: 801 867 0039
W1	L/L-305	Trash Receptacle	Model: Dispatch Color: Silver Finish: Powder Coat	Forms + Surfaces Phone: 267 440 3937
W2	L/L-305	2-12 Play Equipment*	Model: Age 2-12, X Gamma, Custom Equipment Plastic Colors: Spring Green and Sky Blue Metal Colors: Spring Green (RAL 6038), Sky Blue (RAL 5015), and Aluminum (RM7A9M7Q05)	Gametime Phone: 732 761 9024
X1	L/L-306	Modular Precast Retaining Seatwall	Model: Big Block Bronco 1384 - 24: Deep Size: 24" X 48" X 18" ht. Universal Flat Cap: 26" x48"x3"ht. Notes: Use Corner Blocks at wall ends Color: TBD	Versa-Lock Phone: 651 770 5166
Y1	L/L-306	Memorial Wall Granite Veneer	Academy Black, Polished	Cold Spring Granite Phone: 800 328 5040
Y2	L/L-306	Memorial Wall Engraved Letters	Font: TBD Height: TBD Infill: TBD	Cold Spring Granite Phone: 800 328 5040
Y3	L/L-306	Memorial Wall Plaque	Bronze Size: TBD	Bronze Memorials, Inc. www.bronzememorials.net Phone: 772 564 0383
Y4	L/L-306	Granite Curb at Statue Plaza Planting/Lawn	Academy Black, Rock Face	Cold Spring Granite Phone: 800 328 5040
Z1	L/L-306	12" x 12" x 2" Precast Pavers at Hyatt House	Prest Brick Color/Finish: TBD	Hanover Architectural Products Phone: 717 637 0850
Z2	L/L-306	6" x 6" x 2" THK. Precast Pavers at Hyatt House Vehicular Drop-Off	Prest Brick Color/Finish: TBD	Hanover Architectural Products Phone: 717 637 0850

Notes:
1. All colors and finishes subject to final approval by landscape architect and ownership upon review of physical samples.
2. All wood finishes specified above for benches will turn gray in color once weathered.
*3. *Long lead time approx. 3-5+ months for product production, varies per manufacturer.*
*4. **Contractor to provide color/finish mock-up to landscape architect and ownership prior to*
*5. *** #22 Security Bollards: Contractor shall provide a minimum of one alternate, equal manufacturer for comparative pricing and fabrication and certification submittals for review by Ownership and the Design Team.*



NOTES:

1. SEE CIVIL PLANS FOR LOCATIONS OF MANHOLE COVERS TO BE REMOVED. MANHOLE COVERS LOCATED WITHIN PAVED AREA WHICH ARE TO REMAIN SHALL BE FITTED WITH A RECESSED PAVER COVER.
2. SEE CIVIL + STRUCTURAL PLANS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
3. SEE LIGHTING PLANS AND PACKAGE FOR LIGHT FIXTURE SCHEDULES, LOCATIONS, SPECIFICATIONS, ETC.

Overall Site Landscape Plan

Exchange Place
Jersey City, NJ

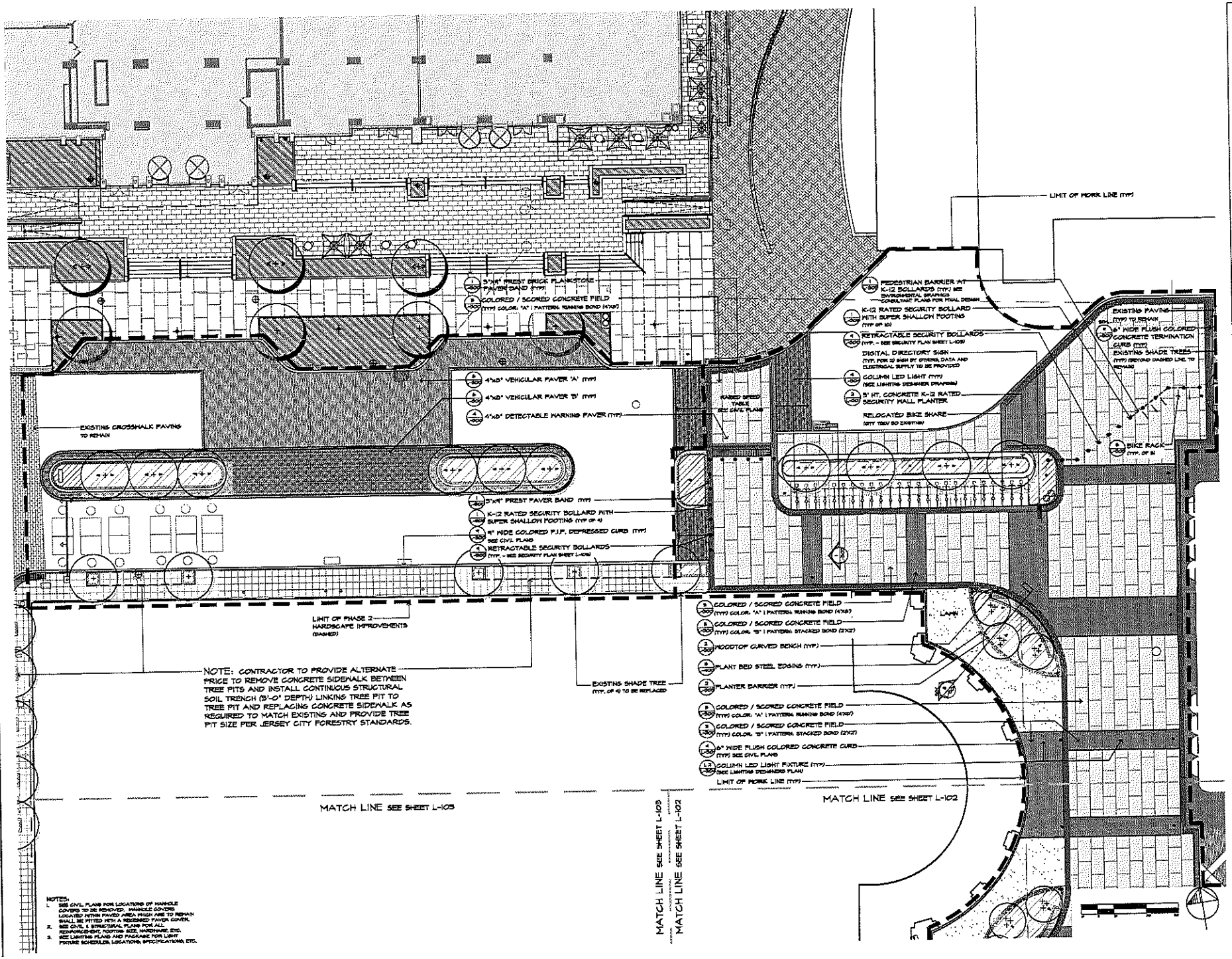
MELILLO+BAUER ASSOCIATES

THOMAS S. CARSAKY
NJ LICENSED LANDSCAPE ARCHITECT

NO	DATE	REVISION
3	1/19/23	CHANGE CONSTRUCTION
2	11/18/22	CHANGE PLANTING
1	11/08/22	RE-REFORMAT COMMENTS

DATE: 07-22-2021 SCALE: 1"=20'-0"

DRAWING NO
L-100



Enlargement Landscape Plan

Materials

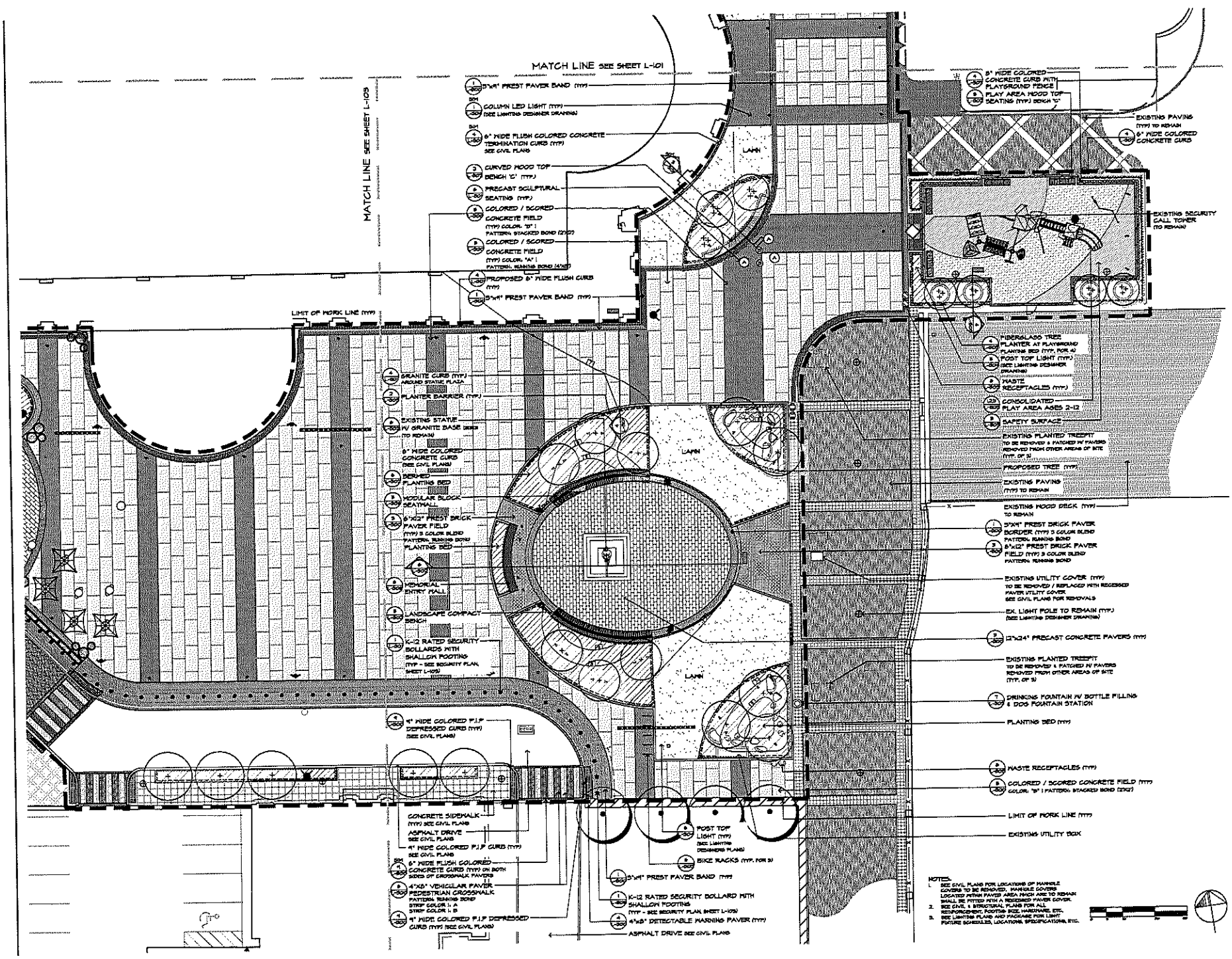
Exchange Place

Jersey City, NJ

MELILLO + BAUER ASSOCIATES

THOMAS A. CARSAN

L-101



Enlargement Landscape Plan

Materials

Exchange Place
Jersey City, NJ

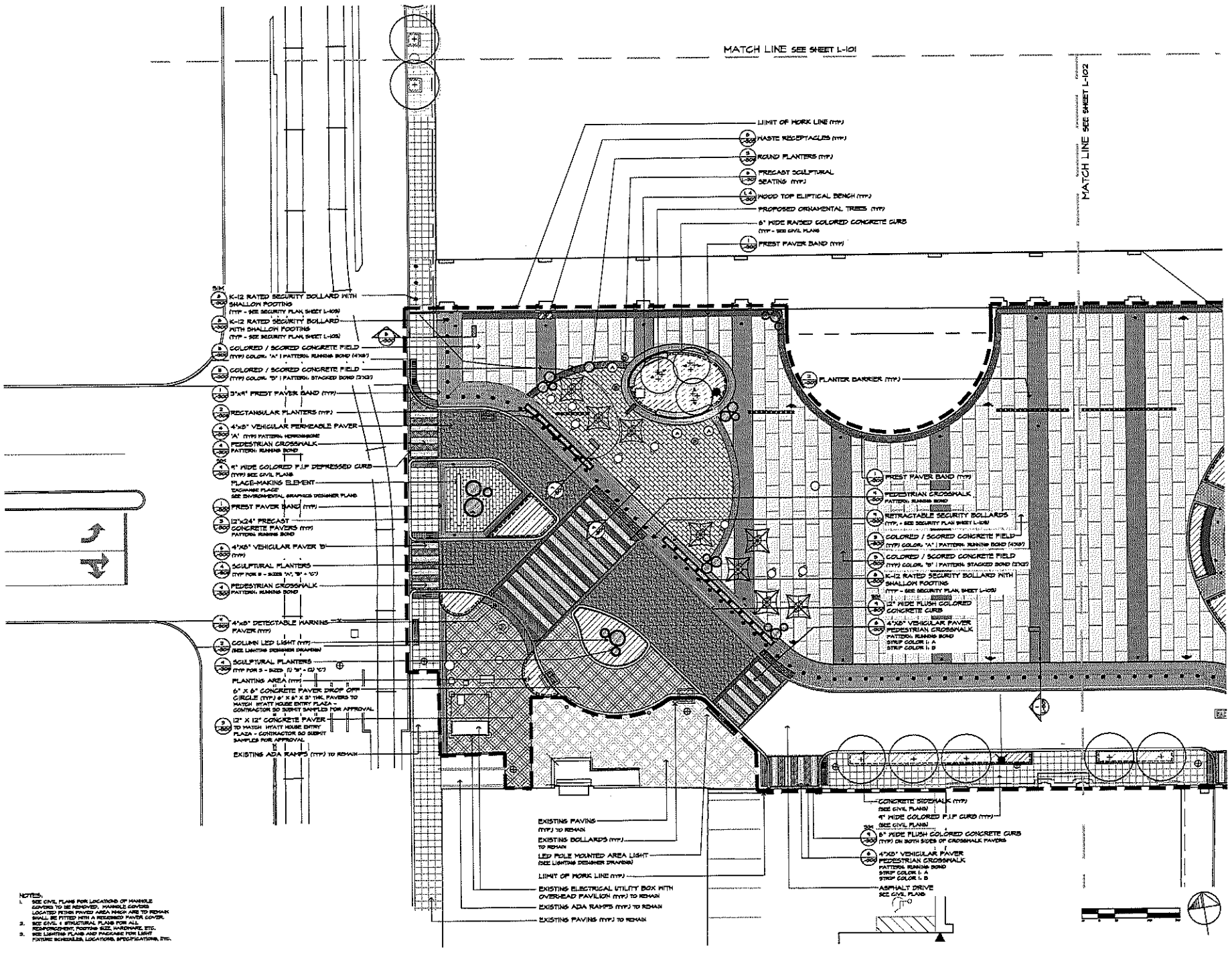
MELILLO + BAUER ASSOCIATES

THOMAS A. CUDDAHY
NJ LICENSED LANDSCAPE ARCHITECT

NO	DATE	REVISION
3	01/13/23	ISSUED FOR FINAL
2	12/12/22	ISSUED FOR REVIEW
1	11/15/22	ISSUED FOR REVIEW

DATE: 10/14/2022 JOB NO: 1-1-2-1-1-1

DRAWING NO.
L-102



NOTES:
1. SEE CIVIL PLANS FOR LOCATIONS OF MANHOLE COVERS TO BE REMOVED. MANHOLE COVERS LOCATED WITHIN PAVED AREA WHICH ARE TO REMAIN SHALL BE FITTED WITH A RECESSED PAVER COVER.
2. SEE CIVIL & STRUCTURAL PLANS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
3. SEE LIGHTING PLANS AND PACKAGE FOR LIGHT FIXTURE SCHEDULES, LOCATIONS, SPECIFICATIONS, ETC.

Enlargement Landscape Plan

Materials

Exchange Place

Jersey City, NJ

MELILLO+BAUER ASSOCIATES

THOMAS S. CARMAN

NJ LICENSED LANDSCAPE ARCHITECT

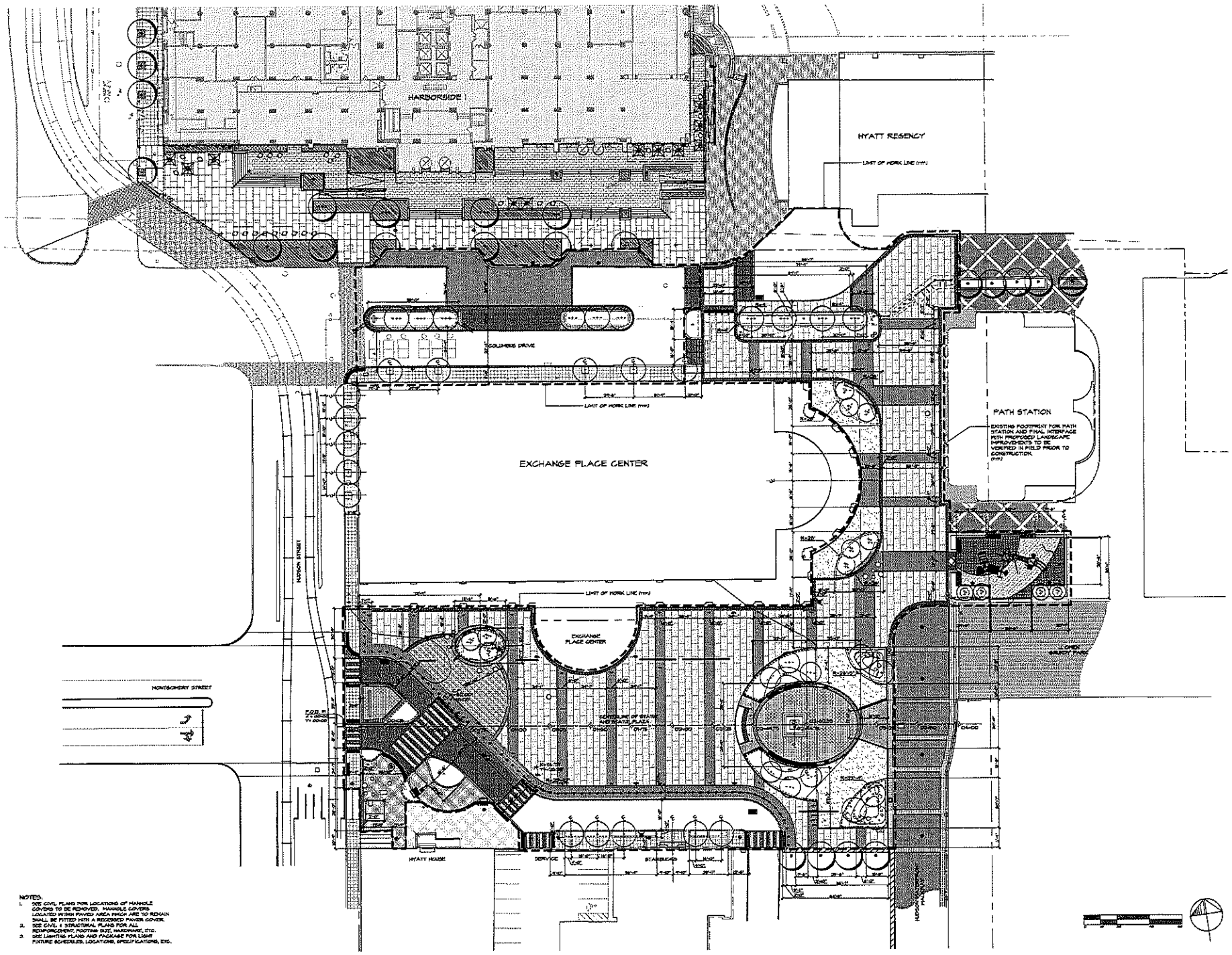
3	2/24/2023	ISSUED FOR PERMIT
2	1/17/2023	ISSUED FOR REVIEW
1	10/26/2021	REVISED PER CITY COMMENTS

DRAWN BY: BY/DGW

DATE: 07/23/2019 JOB NO.: 1.1.1.1.1

DRAWING NO.

L-103



NOTES:

1. SEE CIVIL PLANS FOR LOCATIONS OF MANHOLE COVERS TO BE REMOVED. MANHOLE COVERS LOCATED WITHIN PAVED AREA WHICH ARE TO REMAIN SHALL BE FITTED WITH A RECESSED PAVER COVER.
2. SEE CIVIL & STRUCTURAL PLANS FOR ALL REINFORCEMENT, FOOTING SIZE, HARDWARE, ETC.
3. SEE LIGHTING PLANS AND PACKAGE FOR LIGHT FIXTURE SCHEDULES, LOCATIONS, SPECIFICATIONS, ETC.

Overall Landscape Site Plan

Dimensioning

Exchange Place
Jersey City, NJ

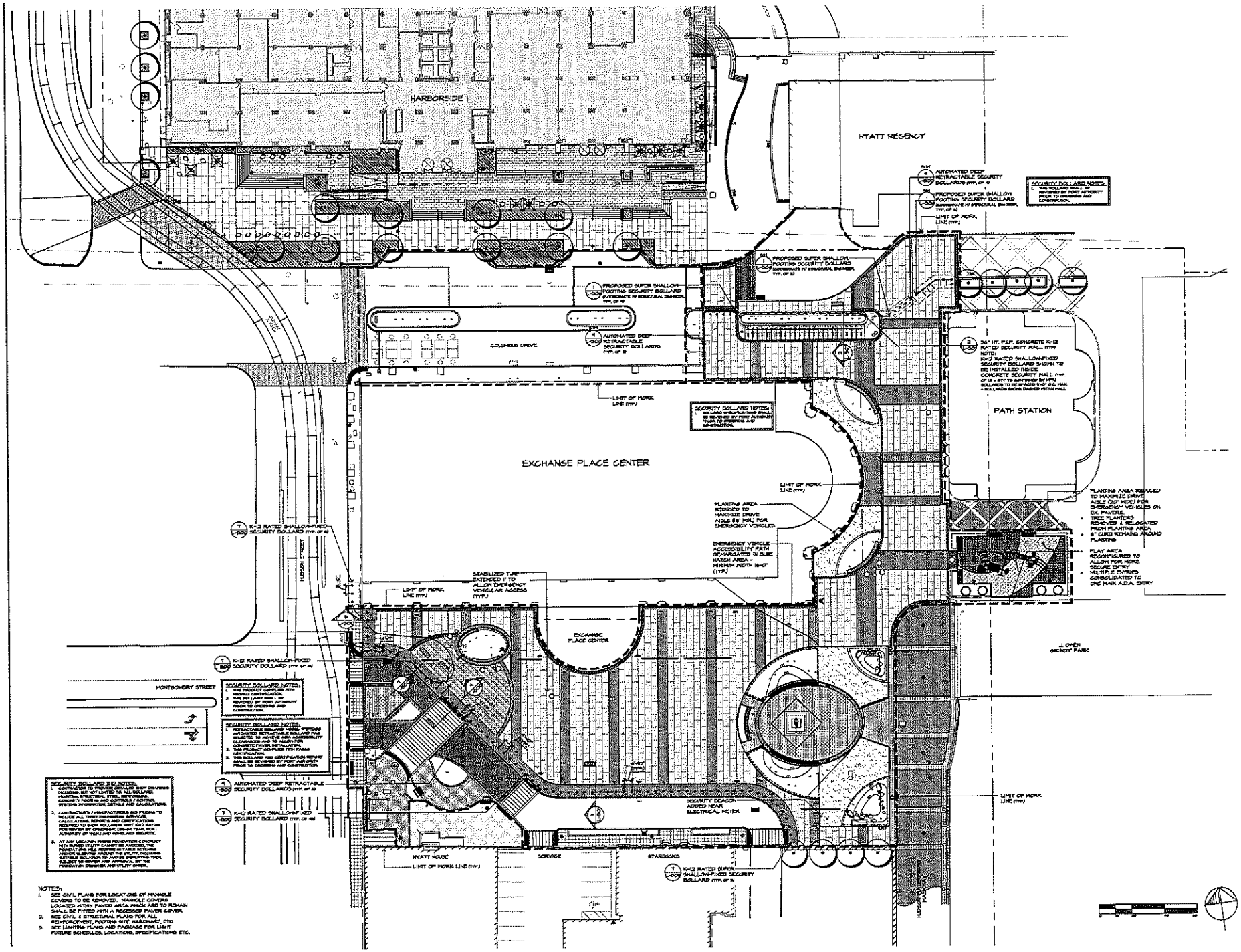
MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTS

THOMAS A. CHOUAN
NJ LICENSED LANDSCAPE ARCHITECT

NO.	DATE	REVISION
1	10/19/2021	ISSUED FOR PERMIT
2	7/19/2021	ISSUED FOR BID
3	11/22/2021	REVISED PER COMMENTS

SCALE: 1"=20'-0"
DATE: 07/20/2019 JOB NO: 1.6.14

DRAWING NO.
L-104



Overall Landscape Site Plan

Security

Exchange Place
Jersey City, NJ

METELLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTS

THOMAS A. CUGGIAN
N.J. LICENSED LANDSCAPE ARCHITECT

NO	DATE	REVISION
3	9/16/2021	ISSUED FOR PERMIT
2	7/14/2021	ISSUED FOR BID
1	6/23/21	REVISED PER NEW PLAN

SCALE: 1"=20'-0"
DATE: 07-23-2021 | JOB NO.: 16-017

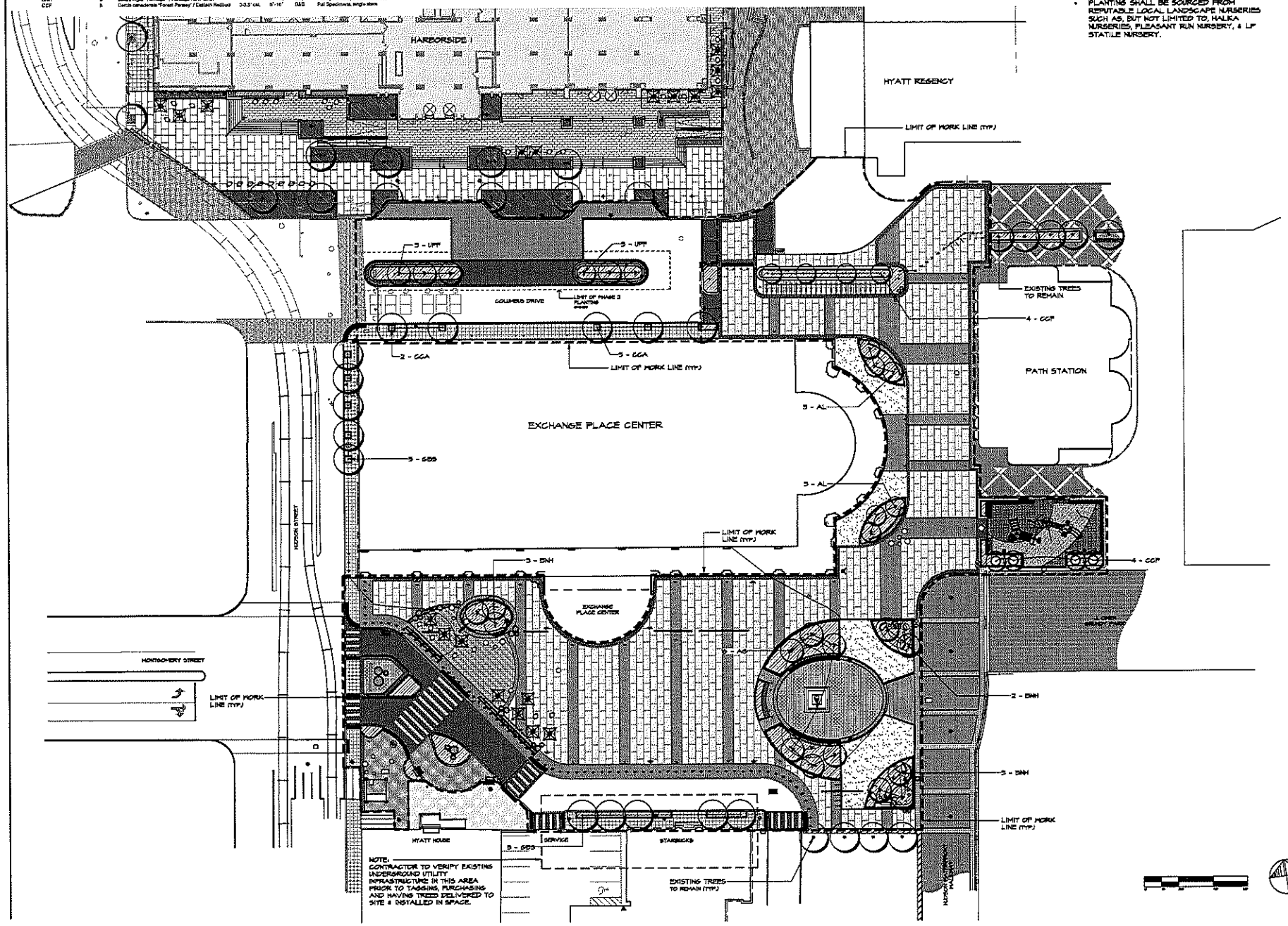
DRAWING NO.
L-105

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CAL	HT	CONT	COMMENTS
CCA	3	Carpinus caroliniana / American Hornbeam	3-3.5" cal.	12'-15'	B&B	Full Specimens, single stem, headed to 7'
GBS	10	Ginkgo biloba 'Sentry' / Maidenhair Tree	3-3.5" cal.	12'-15'	B&B	Full Specimens, headed to 7'
UPF	8	Ulmus parvifolia / Chinese Elm	3-3.5" cal.	14'-16'	B&B	Full Specimens, single stem

ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CAL	HT	CONT	COMMENTS
AG	5	Acer ginnala / Paperbark Maple	3-3.5" cal.	10'-12'	B&B	Full Specimens
AL	5	Amelanchier lamarckii / Allegheny Serviceberry	-	10'-12'	B&B	Heavy, multi-stem specimens
BNH	5	Betula nigra 'Heritage' / Heritage River Birch	-	14'-16'	B&B	Full Specimens, 3 trunk minimum
CCF	5	Cercis canadensis 'Forest Pansey' / Eastern Redbud	3-3.5" cal.	8'-10'	B&B	Full Specimens, single stem

NOTES:
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. SEE SHEET L-400 FOR PLANT NOTES AND DETAILS.
- CONTRACTOR SHALL PERFORM PERCOLATION TEST AT ALL PLANTING AREAS & ALERT L.A. / PROJECT MANAGER OF ANY CONCERNS.
- PLANTING SHALL BE SOURCED FROM REPUTABLE LOCAL LANDSCAPE NURSERIES SUCH AS, BUT NOT LIMITED TO, HALKA NURSERIES, PLEASANT RUN NURSERY, & LF STATILE NURSERY.



Overall Landscape Site Plan
Planting

Exchange Place
Jersey City, NJ

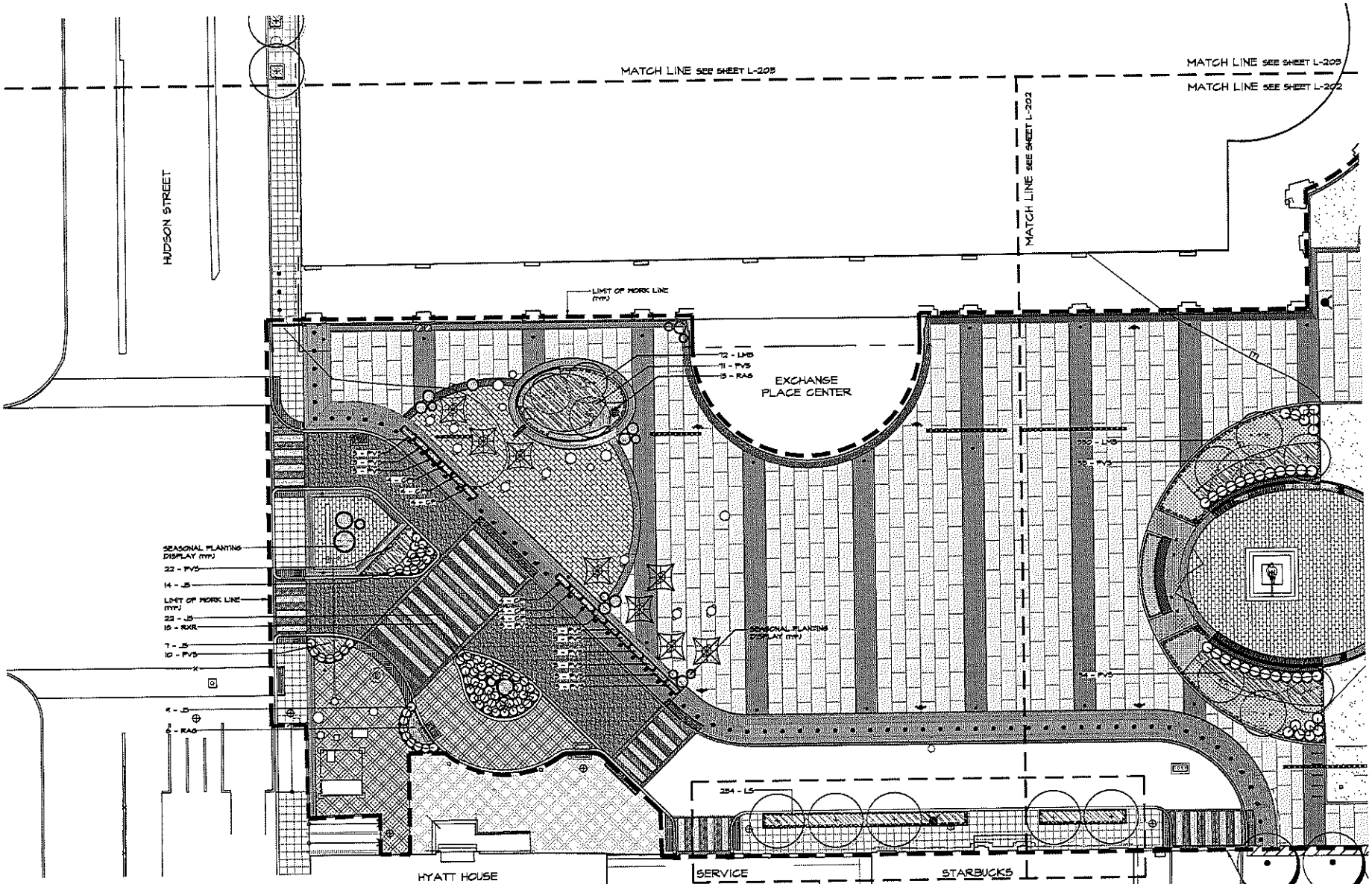
MELILLO+SAUER ASSOCIATES

THOMAS A. GARGANO
NJ LICENSED LANDSCAPE ARCHITECT

NO	DATE	REVISION
3	01/31/2023	ISSUED FOR PERMIT
2	2/9/2021	ISSUED FOR BID
1	3/22/2019	BID PROGRESS (Comm#01)

DWG. 07.23.2019 | CHK.BY: TAG/MT

DRAWING NO.
L-200



PLANT SCHEDULE L-201

SHRUBS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
JS	37	Juniperus sargentii / Sargent Juniper	-	18"-24"	18"-24"	#5 cont.	Full Plants, 2.5' O.C.
ROR	18	Rosa x 'Radrazz' / Knock Out Shrub Rose	-	2'-2.5'		#5 cont.	Full Plants, 2.5' O.C.

ORGLAND COVERS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
RAG	21	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	-		12"-24"	#5 cont.	Full Plants, 2.5' O.C.

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
CF	21	Carex pensylvanica / Pennsylvania Sedge	-			1 Gal.	Full Plants, 12" O.C.
LMB	73	Liriope muscari 'Big Blue' / Big Blue Lilyturf	-			1 Gal.	Full Plants, 12" O.C.
LS	234	Liriope spicata / Creeping Lily Turf	-			1 Gal.	Full Plants, 12" O.C.
PVS	133	Panicum virgatum 'Shenandoah' / Switch Grass	-			2 Gal.	Full Plants, 12" O.C.

NOTES:

- SEE SHEET L-200 FOR TREE PLANTING MATERIALS LIST AND SPECIFICATIONS.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. SEE SHEET L-400 FOR PLANT NOTES AND DETAILS AND SHEET L-401 FOR PLANTING SPECIFICATIONS
- CONTRACTOR SHALL PERFORM PERCOLATION TEST AT ALL PLANTING AREAS & ALERT L.A. / PROJECT MANAGER OF ANY CONCERNS.
- PLANTING SHALL BE SOURCED FROM REPUTABLE LOCAL LANDSCAPE NURSERIES SUCH AS, BUT NOT LIMITED TO, HALKA NURSERIES, PLEASANT RUN NURSERY, & LP STATILE NURSERY.

NOTE:
CONTRACTOR TO VERIFY EXISTING UNDERGROUND UTILITY INFRASTRUCTURE IN THIS AREA PRIOR TO TAGGING, PURCHASING AND HAVING TREES DELIVERED TO SITE & INSTALLED IN SPACE.

Enlargement Landscape Plan
Planting

Exchange Place
Jersey City, NJ

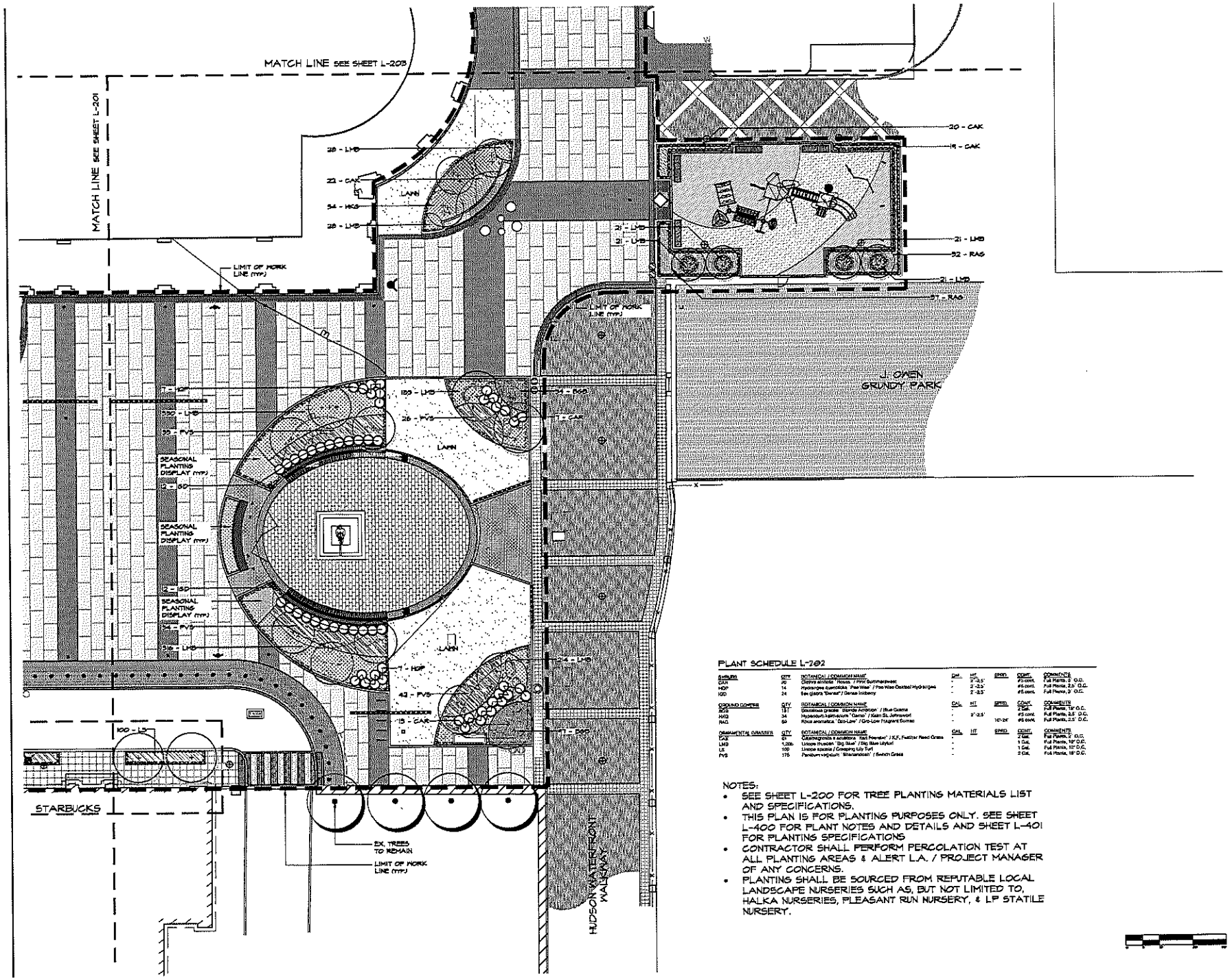
MELILLO+BAUER ASSOCIATES

THOMAS A. GASHIAN
N.J. LICENSED LANDSCAPE ARCHITECT

NO.	DATE	REVISION
3	09/14/22	ISSUED FOR PERMIT
2	7/15/22	ISSUED FOR BID
1	4/29/22	REVISED CLIENT COMMENTS

SCALE: 1"=10'-0"
DATE: 07.05.2019 JOB NO.: 19-0-001

DRAWING NO.
L-201



PLANT SCHEDULE L-202

SHRUBS	QTY	BOTANICAL / COMMON NAME	CAL	HT	SPRD	CONT	COMMENTS
CAR	20	Clethra alnifolia 'Hummingbird' / Pink Summersweet	-	2'-2.5'		#5 cont.	Full Plants, 3' O.C.
HOP	14	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea	-	2'-2.5'		#5 cont.	Full Plants, 2.5' O.C.
IGD	24	Ilex glabra 'Densa'® / Densa Inkberry	-	2'-2.5'		#5 cont.	Full Plants, 3' O.C.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CAL	HT	SPRD	CONT	COMMENTS
BSG	181	Bouteloua gracilis 'Blonde Ambition' / Blue Grama	-			#1 cont.	Full Plants, 1ft O.C.
HKG	34	Hypericum kalmianum 'Gemo' / Kalm St. Johnswort	-	2'-2.5'		#5 cont.	Full Plants, 3.5' O.C.
RAG	64	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	-		101-24'	#5 cont.	Full Plants, 2.5' O.C.

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CAL	HT	SPRD	CONT	COMMENTS
KSF	61	Calamagrostis x acutiflora 'Karl Foerster' / K.F. Feather Reed Grass	-			2 Gal.	Full Plants, 2' O.C.
LMB	1,208	Liriope muscari 'Big Blue' / Big Blue Lilyturf	-			1 Gal.	Full Plants, 18" O.C.
LIS	100	Liriope spicata / Creeping Lily Turf	-			1 Gal.	Full Plants, 12" O.C.
PVS	175	Panicum virgatum 'Shenandoah' / Switch Grass	-			2 Gal.	Full Plants, 18" O.C.

NOTES:

- SEE SHEET L-200 FOR TREE PLANTING MATERIALS LIST AND SPECIFICATIONS.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. SEE SHEET L-400 FOR PLANT NOTES AND DETAILS AND SHEET L-401 FOR PLANTING SPECIFICATIONS
- CONTRACTOR SHALL PERFORM PERCOLATION TEST AT ALL PLANTING AREAS & ALERT L.A. / PROJECT MANAGER OF ANY CONCERNS.
- PLANTING SHALL BE SOURCED FROM REPUTABLE LOCAL LANDSCAPE NURSERIES SUCH AS, BUT NOT LIMITED TO, HALKA NURSERIES, PLEASANT RUN NURSERY, & LP STATILE NURSERY.

Enlargement Landscape Plan

Planting

Exchange Place

Jersey City, NJ

MELILLO+BAUER ASSOCIATES

THOMAS A. CARLSON

NJ LICENSED LANDSCAPE ARCHITECT

3	2/16/2023	ISSUED FOR PERMIT
2	7/11/2021	ISSUED FOR BID
1	3/26/2021	REVISED PER COMMENTS

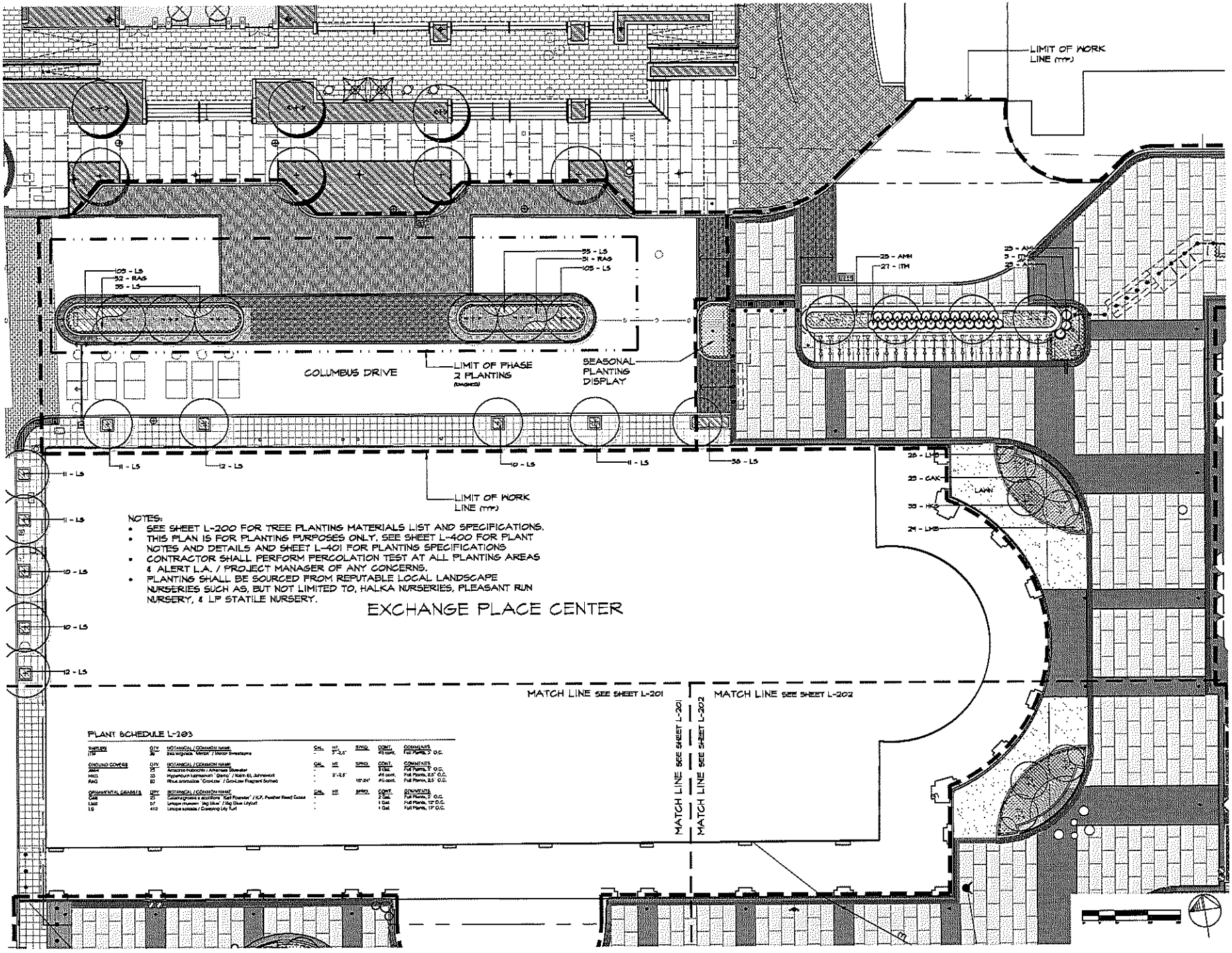
NO.	DATE	REVISION

DRAWN BY: [illegible]

DATE: 01/25/2019 JOB NO: 18-249

DRAWING NO.

L-202



NOTES:

- SEE SHEET L-200 FOR TREE PLANTING MATERIALS LIST AND SPECIFICATIONS.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. SEE SHEET L-400 FOR PLANT NOTES AND DETAILS AND SHEET L-401 FOR PLANTING SPECIFICATIONS
- CONTRACTOR SHALL PERFORM PERCOLATION TEST AT ALL PLANTING AREAS & ALERT L.A. / PROJECT MANAGER OF ANY CONCERNS.
- PLANTING SHALL BE SOURCED FROM REPUTABLE LOCAL LANDSCAPE NURSERIES SUCH AS, BUT NOT LIMITED TO, HALKA NURSERIES, PLEASANT RUN NURSERY, & LP STATILE NURSERY.

PLANT SCHEDULE L-203

SHRUBS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
ITM	36	Ilex verticillata "Winter" / Winter Berry	-	3'-3.5'		#3 cont.	Full Plants, 3' O.C.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
AMH	75	Amsonia hubrichtii / Arkansas Blue Star	-			3 Gal.	Full Plants, 3' O.C.
HKG	33	Hypericum kalmianum "Grace" / Kalm St. Johnswort	-	2'-2.5'		#3 cont.	Full Plants, 2.5' O.C.
RAG	80	Rosa aromatica "Grow Low" / Grow Low Fragrant Sunset	-		10'-24'	#5 cont.	Full Plants, 2.5' O.C.

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CAL.	HT.	SPRD.	CONT.	COMMENTS
CAK	23	Calamagrostis x acutiflora "Karl Foerster" / K.F. Feather Reed Grass	-			2 Gal.	Full Plants, 2' O.C.
LMS	57	Liriope muscari "Big Blue" / Big Blue Lilyturf	-			1 Gal.	Full Plants, 12" O.C.
LS	412	Liriope spicata / Creeping Lily Turf	-			1 Gal.	Full Plants, 12" O.C.

Enlargement Landscape Plan

Planting

Exchange Place

Jersey City, NJ

MELILLO+BAUER ASSOCIATES

THOMAS A. CARLSON

N.J. LICENSED LANDSCAPE ARCHITECT

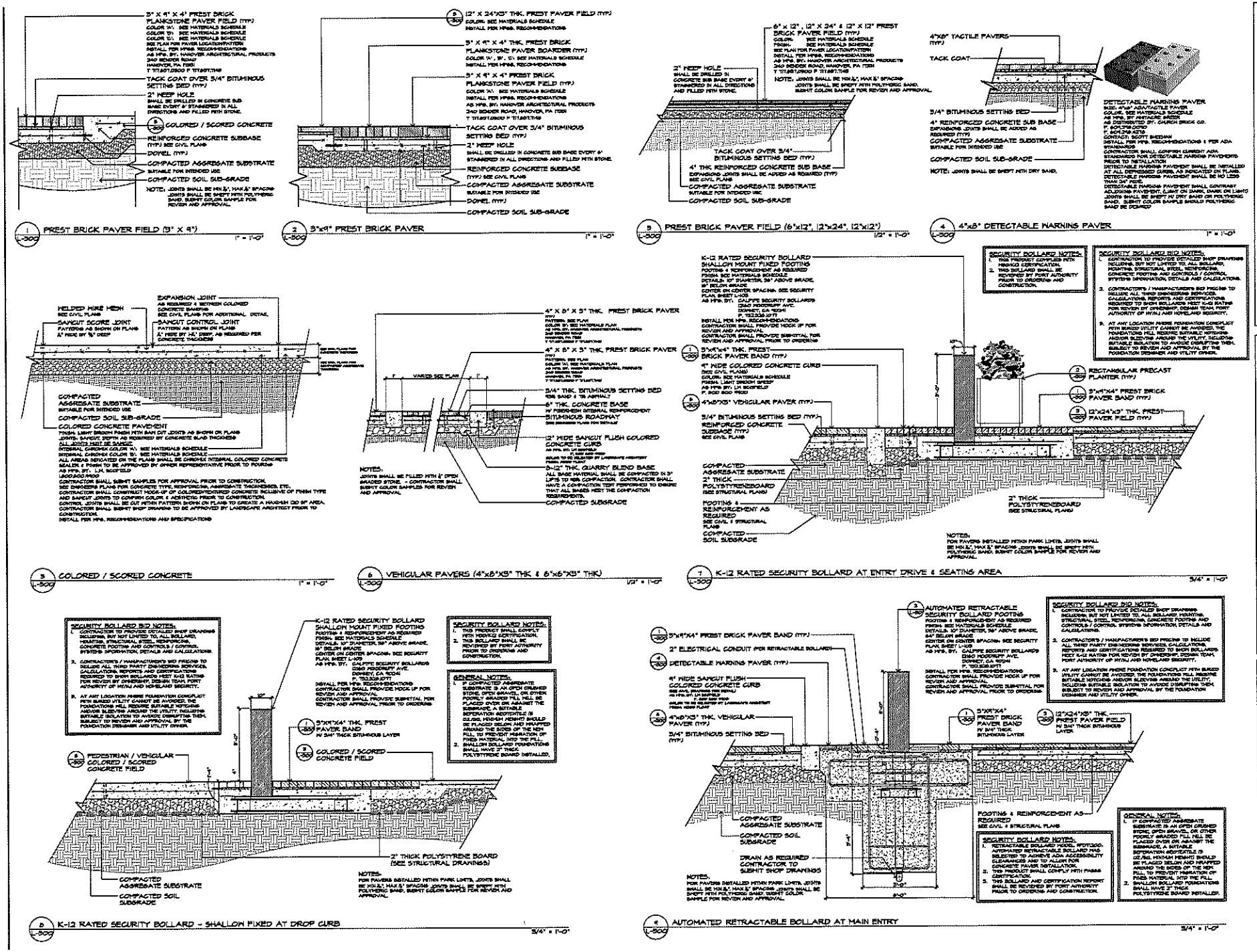
3	03/15/23	CLIENT REVIEW
2	01/13/23	CLIENT REVIEW
1	10/24/22	INT. REVIEW (LDC-4610)
NO.	DATE	REVISION

SCALE: 1"=10'

DATE: 07.03.2019 JOB NO. 18-147

DRAWING NO.

L-203



Site Details

Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTS

THOMAS K. GORMAN
NJ LICENSED LANDSCAPE ARCHITECT

L-300

SECURITY BOLLARD BID NOTES:

1. CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS INCLUDING, BUT NOT LIMITED TO, ALL BOLLARD, MOUNTING, STRUCTURAL STEEL, REINFORCING, CONCRETE FOOTING AND CONTROLS / CONTROL SYSTEMS INFORMATION, DETAILS AND CALCULATIONS.
2. CONTRACTOR'S / MANUFACTURER'S BID PRICING TO INCLUDE ALL THIRD PARTY ENGINEERING SERVICES, CALCULATIONS, REPORTS AND CERTIFICATIONS REQUIRED TO SHOW BOLLARDS MEET K-12 RATING FOR REVIEW BY OWNERSHIP, DESIGN TEAM, PORT AUTHORITY OF NY/NJ AND HOMELAND SECURITY.
3. AT ANY LOCATION WHERE FOUNDATION CONFLICT WITH BURIED UTILITY CANNOT BE AVOIDED, THE FOUNDATIONS WILL REQUIRE SUITABLE NOTCHING AND/OR SLEEVING AROUND THE UTILITY, INCLUDING SUITABLE ISOLATION TO AVOID DISRUPTING THEM, SUBJECT TO REVIEW AND APPROVAL BY THE FOUNDATION DESIGNER AND UTILITY OWNER.

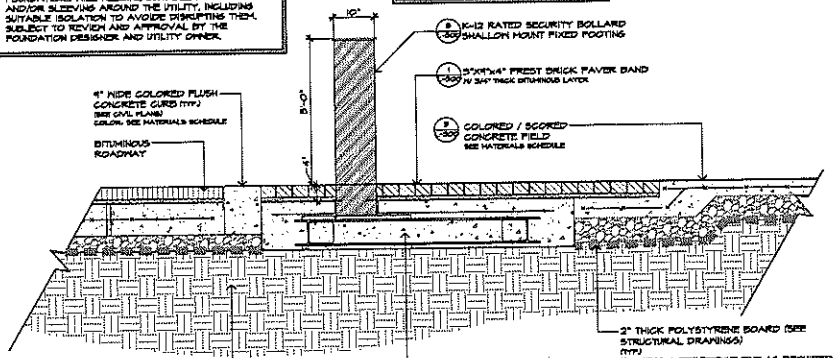
GENERAL NOTES:

1. IF COMPACTED AGGREGATE SUBSTRATE IS AN OPEN CRUSHED STONE, OPEN GRAVEL, OR OTHER POORLY GRADED FILL WILL BE PLACED OVER OR AGAINST THE SUBGRADE, A SUITABLE SEPERATION GEOTEXTILE (5 OZ./SQ. MINIMUM WEIGHT) SHOULD BE PLACED BELOW AND WRAPPED AROUND THE SIDES OF THE NEW FILL TO PREVENT MIGRATION OF FINES MATERIAL INTO THE FILL.
2. SHALLOW BOLLARD FOUNDATIONS SHALL HAVE 2" THICK POLYSTYRENE BOARD INSTALLED.

SECURITY BOLLARD NOTES:

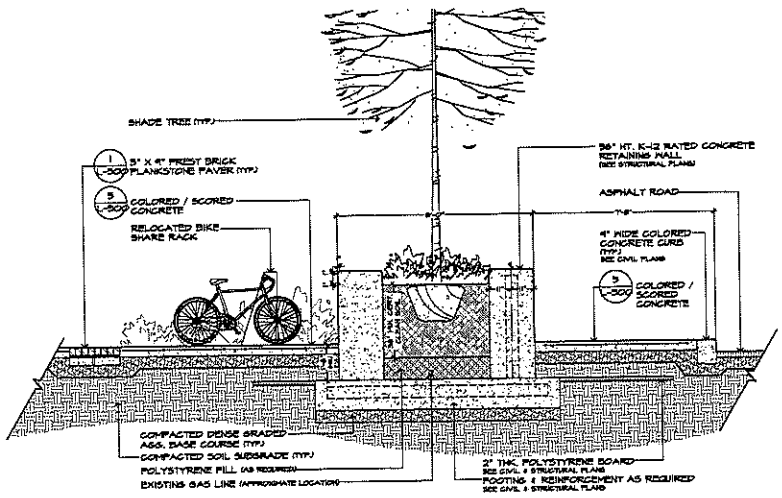
1. THIS PRODUCT SHALL COMPLY WITH M50/K12 CERTIFICATION.
2. THIS BOLLARD SHALL BE REVIEWED BY PORT AUTHORITY PRIOR TO ORDERING AND CONSTRUCTION.

NOTES:
FOR PAVERS INSTALLED WITHIN PARK LIMITS, JOINTS SHALL BE MIN 3/8", MAX 5" SPACING. JOINTS SHALL BE SWEPT WITH POLYMERIC SAND. SUBMIT COLOR SAMPLE FOR REVIEW AND APPROVAL.



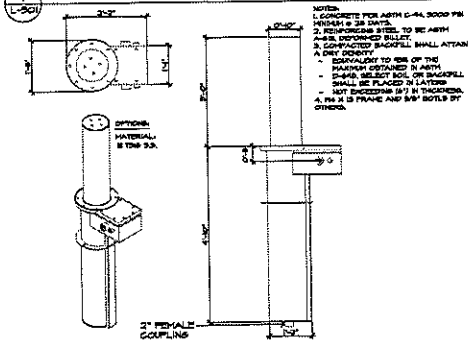
1 L-301 RETAINING WALL & BERMED PLANTING BED

SCALE: 1" = 1'-0"



2 L-301 SECURITY WALL PLANTER

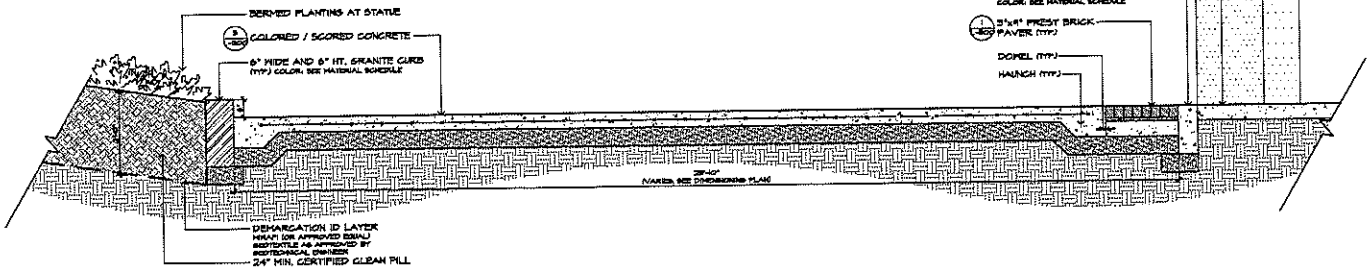
SCALE: 1/2" = 1'-0"



NOTES:
1. CONCRETE FOR ARTH C-44, 3000 PSI MINIMUM @ 28 DAYS.
2. REINFORCING STEEL TO BE ARTH A-615, DEFORMED BILLET.
3. COMPACTED BACKFILL SHALL ATTAIN A DRY DENSITY
- EQUIVALENT TO 95% OF THE MAXIMUM OBTAINED IN ARTH D-698. SELECT SOIL OR BACKFILL SHALL BE PLACED IN LAYERS
- NOT EXCEEDING 8" IN THICKNESS.
4. FILL IS FRANK AND B/W SOILS BY OTHERS.

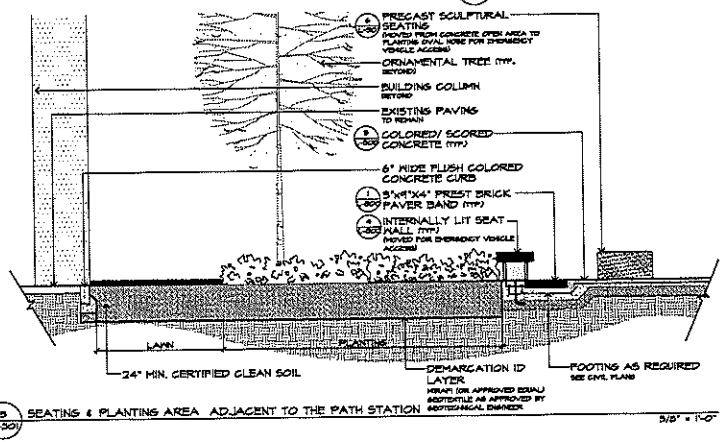
3 L-301 ENLARGEMENT: AUTOMATED RETRACTABLE BOLLARD

SCALE: 3/4" = 1'-0"



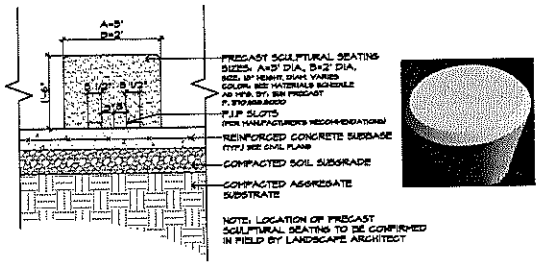
4 L-301 COLORED SCORED CONCRETE WALK

3/4" = 1'-0"



5 L-301 SEATING & PLANTING AREA ADJACENT TO THE PATH STATION

3/8" = 1'-0"



6 L-301 PRECAST CONCRETE SEATING

3/8" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

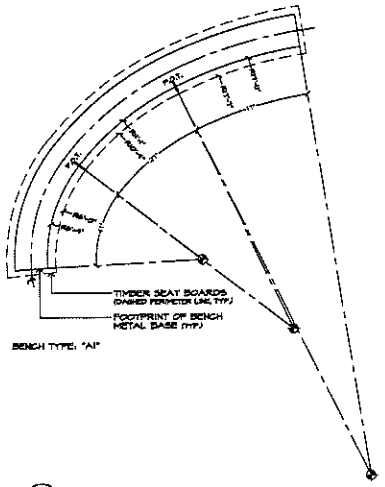
MELILLO • BAUER ASSOCIATES

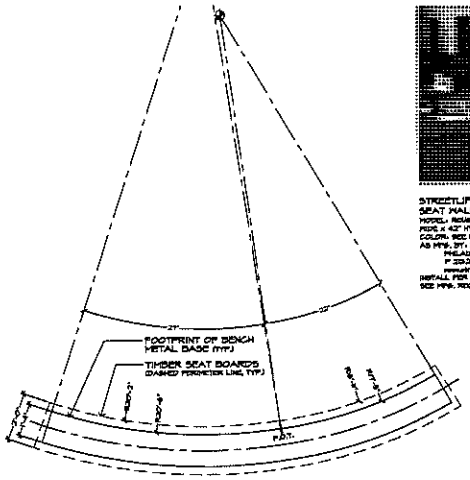
THOMAS S. GARRAN
N.J. LICENSED LANDSCAPE ARCHITECT

NO.	DATE	REVISION
3	10/18/22	ISSUED FOR PERMIT
2	04/13/21	ISSUED FOR BID
1	01/13/21	90% PER CLIENT COMMENTS

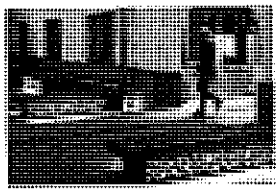
DRAWN: AS NOTED
DATE: 07/03/2019 JOB NO.: 16-117

DRAWING NO.
L-301

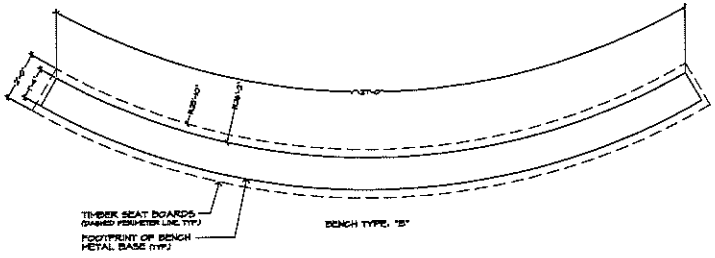




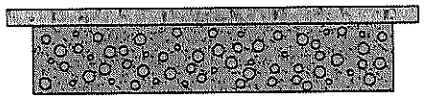
1 L-302 STREETLIFE BENCH @ OVAL SEATING "TYPE A" - DIMENSIONING PLAN 1/2" = 1'-0"



STREETLIFE INTERNALLY LIT
SEAT WALL @ OVAL SEATING
MODEL: ROUGH & READY CURVED SEAT WALL SIZE: 24"
RISE X 42" HT
COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY: STREETLIFE
PHILADELPHIA PA
P 2232470148
www.streetlife.net
INSTALL PER MFR. RECOMMENDATIONS.
SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE

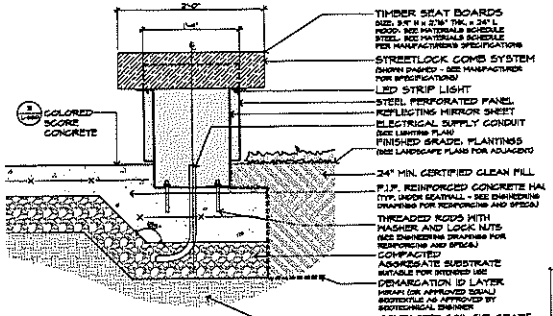


2 L-302 STREETLIFE BENCH - CURVED BENCH "TYPE B" 1/2" = 1'-0"

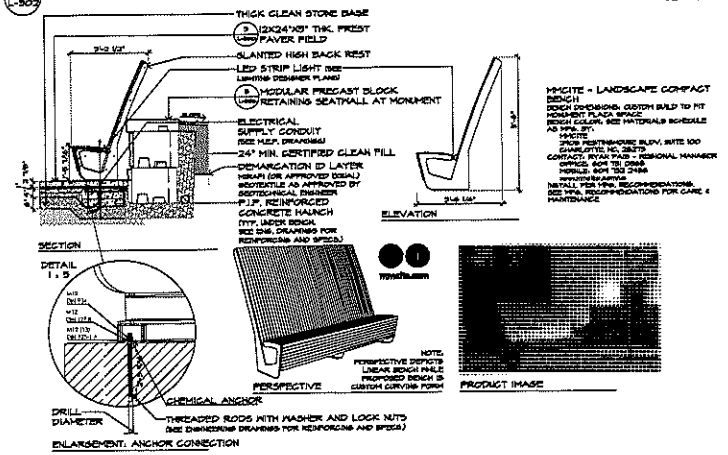


STREETLIFE SEAT WALL @ PLAY AREA: BENCH TYPE "C"
MODEL: ROUGH & READY STRAIGHT SEAT WALL
SIZE: 24" WIDE X 42" HT
PLANTER COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY:
ROUGH & READY
PHILADELPHIA PA
P 2232470148
www.streetlife.net
INSTALL PER MFR. RECOMMENDATIONS.
SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE

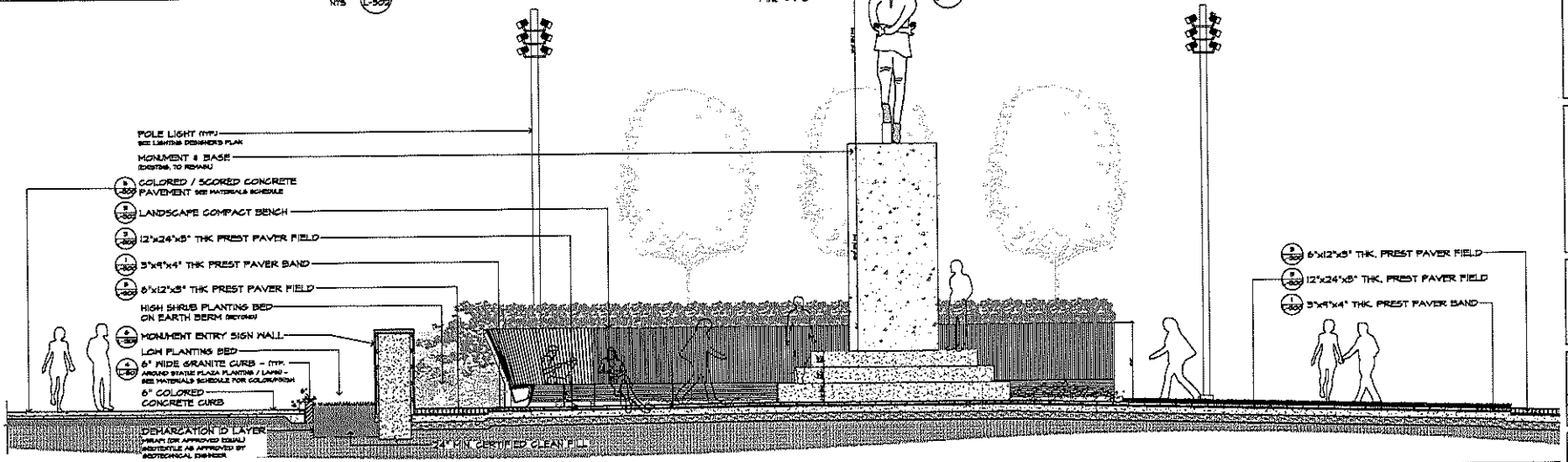
3 L-302 ROUGH N READY - WOOD TOP SEATING - PLAY AREA - TYPE "C" NTS



4 L-302 ROUGH N READY BENCH - TYPICAL DETAIL 1-1/2" = 1'-0"



5 L-302 LANDSCAPE COMPACT BENCH 3/4" = 1'-0"



6 L-302 MONUMENT CIRCLE WITH BERMED PLANTING & LANDSCAPE COMPACT BENCH 3/8" = 1'-0"

Site Details

Exchange Place
Jersey City, NJ

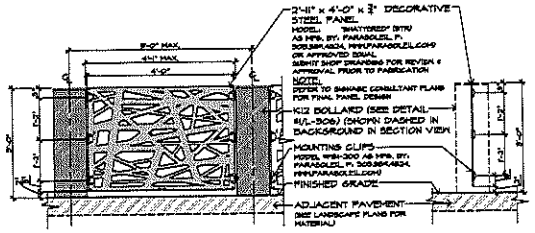
MELILLO+BAUER ASSOCIATES
LANDSCAPE ARCHITECTS

THOMAS A. CARSON
NJ LICENSED
LANDSCAPE ARCHITECT
LA001774

3	09/14/2022	ISSUED FOR REVIEW
2	09/06/2022	ISSUED FOR REVIEW
1	05/27/22	90% PDP SUBMISSION COMMENTS
NO.	DATE	REVISION

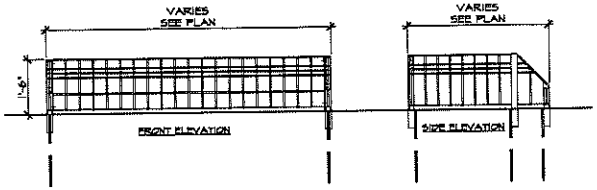
DATE: 04-25-2021 JOB NO.: 1601-08

DRAWING NO.
L-302



NOTE: ALL STEEL COMPONENTS TO BE POWDER COATED
COLOR: SEE MATERIALS SCHEDULE SUBMIT SHOP DRAWS & MATERIAL SAMPLES TO L.A. FOR REVIEW APPROVAL PRIOR TO FABRICATION.

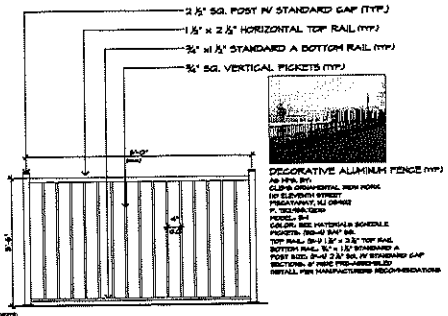
1 L-303 PEDESTRIAN BARRIER - DECORATIVE PANEL 3/4"=1'-0"



PLANTER BARRIER
MODEL: CLYDE
COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY: GREENBLUE URBAN
4400 ANDERSON ROAD
KNOXVILLE, TN 37918
P. 866.282.2743

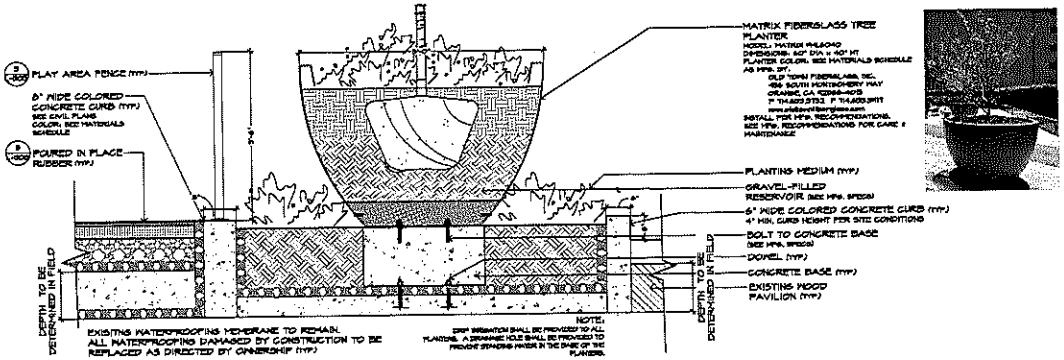
NOTES:
1. ALL STEEL COMPONENTS TO BE POWDER COATED
2. CONTRACTOR TO SUBMIT COLOR AND FINISH SAMPLES FOR REVIEW AND APPROVAL BY OWNER'S REP. AND LANDSCAPE ARCHITECT PRIOR TO FABRICATION / INSTALLATION.
3. CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS FOR REVIEW AND APPROVAL BY OWNER'S REP. AND LANDSCAPE ARCHITECT PRIOR TO FABRICATION / INSTALLATION.

2 L-303 PLANTER BARRIER SCALE: 3/4" = 1'-0"

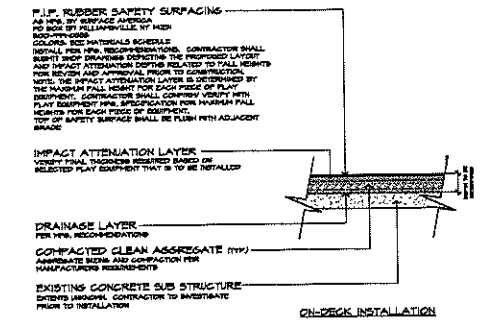


NOTE:
- ALL COMPONENTS FOR FENCES & GATES TO BE ALUMINUM AND PERFORGATED TO MATCH ARCHITECTURE.
- ALL FENCES & GATES TO MEET ALL LOCAL CODES.
- MATERIAL SAMPLES TO BE PROVIDED TO LANDSCAPE ARCHITECT & OWNER'S REP. FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF BALUSTER DETAILS, ALL RAIL COMPONENTS, ATTACHMENTS, ETC. FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- CONTRACTOR SHALL DETERMINE PROPER MATERIAL, MATERIAL THICKNESS, MATERIAL FINISH, FABRICATION METHODS PRIOR TO MANUFACTURING RAIL SYSTEM.
- FABRICATOR/CONTRACTOR SHALL SUBMIT MOCK-UP/RAIL SAMPLES FOR APPROVAL PRIOR TO FABRICATION.
- BOLLTOPPER PLATES SHALL BE PROVIDED PRIOR RAILS ARE SET INTO PAVEMENT TO CONCRETE, PAVER DATA UNDER PORTS.

5 L-303 PLAY AREA FENCE 3/4" = 1'-0"



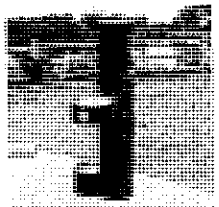
4 L-303 PLANTING BED & FENCE AT PLAYGROUND AREA SCALE: 1"=1'-0"



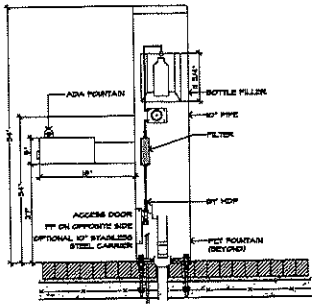
5 L-303 SAFETY SURFACING 3/8" = 1'-0"

BIKE RACK
MODEL: PMF
COLOR: SEE MATERIALS SCHEDULE
MOUNTING: SURFACE
SIZE: 30"L x 9"H x 33"H
AS MFR. BY: LANDSCAPE FORMS
P. 800.430.6320
AS DIST. BY: ARCHITRIA METRO
P. 908.248.2417
INSTALL PER MANUFACTURER RECOMMENDATIONS
SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

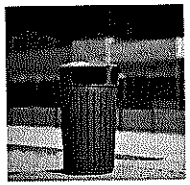
6 L-303 BIKE RACK SCALE: NTS



BOTTLE FILLER / ADA FOUNTAIN / PET FOUNTAIN
MODEL: JOSEPH
COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY: HIGHT DEPENDABLE FOUNTAINS
P. 401.847.0229
INSTALL ACCORDING TO MFR. RECOMMENDATIONS.
SURFACE MOUNT W/ STAINLESS STEEL SURFACE CARRIER REQUIRED HOSE SIZES AND LOCK BOX OPTION
FOOTING AS REQUIRED, INSTALL FOOTING BENEATH PAVERS
WINTERIZE PER MFR. RECOMMENDATIONS

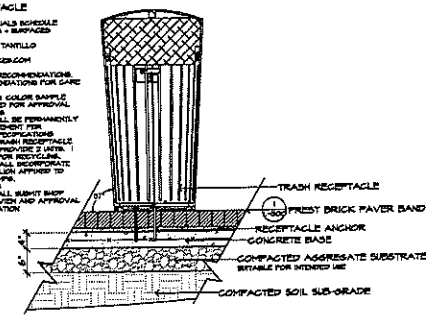


7 L-303 DOG FOUNTAIN & BOTTLE FILLING STATION 1" = 1'-0"



NOTE: JOINTS SHALL BE MIN 3/8", MAX 5/8" SPACING JOINTS SHALL BE SEALED WITH POLYMERIC SAND. SUBMIT COLOR SAMPLE SHOULD POLYMERIC SAND BE DESIRED

TRASH RECEPTACLE
MODEL: DISPATCH
COLOR: SEE MATERIALS SCHEDULE
AS MFR. BY: FORMS + SURFACES
P. 800.451.0140
CONTACT: PELIQUE TANTILLO
P. 267.441.1987
PAULT@FORMS-SURFACES.COM
INSTALL PER MFR. RECOMMENDATIONS. SEE MFR. RECOMMENDATIONS FOR CARE & MAINTENANCE
- SHOP DRAWINGS & COLOR SAMPLE SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING
- RECEPTACLE SHALL BE PERMANENTLY ANCHORED TO PAVEMENT PER MANUFACTURER SPECIFICATIONS
- ALL PROPOSED TRASH RECEPTACLE LOCATIONS SHALL PROVIDE 2 UNITS, 1 FOR TRASH AND 1 FOR RECYCLING. RECYCLING UNIT SHALL INCORPORATE RECYCLING INSERT APPROPRIATE TO RECEPTACLE PER MFR. RECOMMENDATIONS
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION



8 L-303 TRASH RECEPTACLE SCALE: 1"=1'-0"

Site Details

Exchange Place
Jersey City, NJ

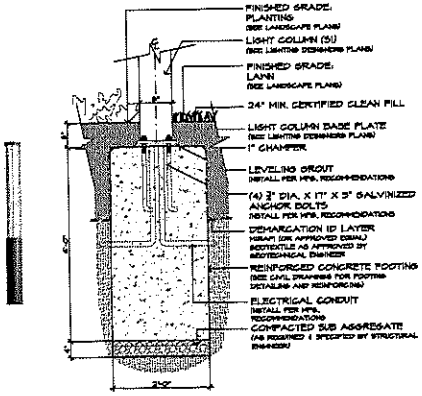
MELILLO + BAUER ASSOCIATES

THOMAS A. CUSHAN
N.J. LICENSED LANDSCAPE ARCHITECT

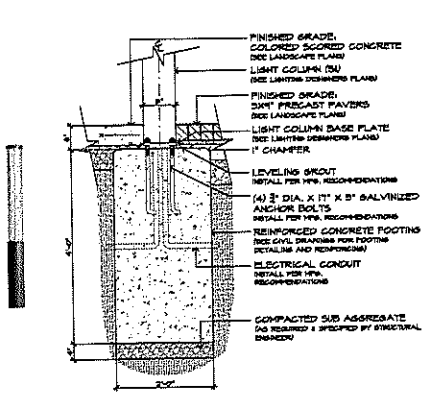
NO.	DATE	REVISION
3	4/14/2022	ISSUED FOR PERMIT
2	2/15/2022	ISSUED FOR BID
1	12/20/2021	REV. PER CLIENT COMMENTS

STAMP: ALL REVISIONS
DATE: 12/20/2021 | CAD: JOB NO.: 1.2.3.4.5

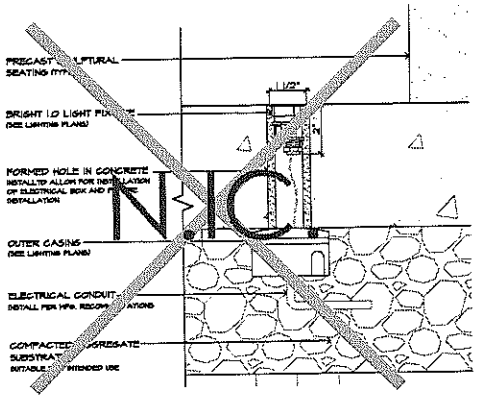
DRAWING NO.
L-303



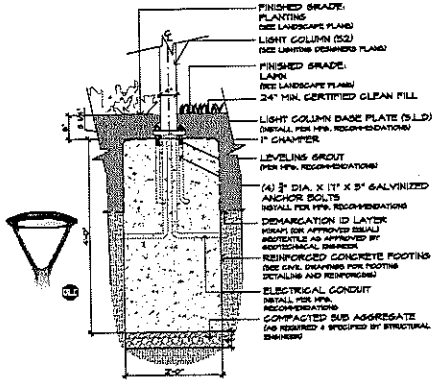
1 L-304 COLUMN LED LIGHT (S1): CONDITION "A" 1"=1'-0"



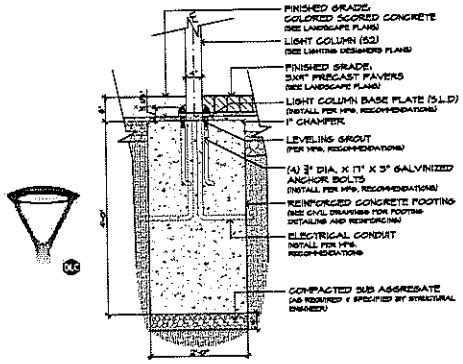
2 L-304 COLUMN LED LIGHT (S1): CONDITION "B" SCALE: 1" = 1'-0"



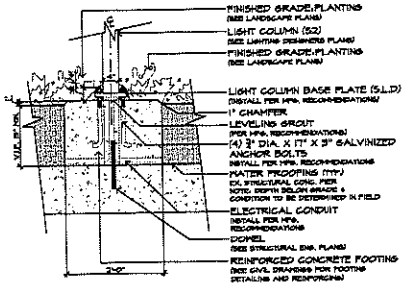
3 L-304 BRIGHT LIGHT FIXTURE SCALE: 1" = 2"



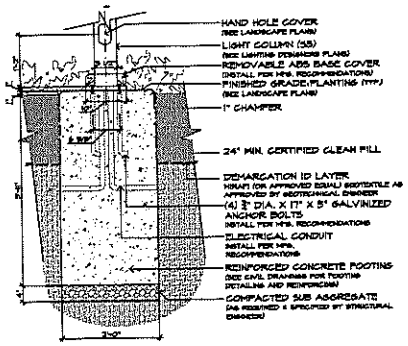
4 L-304 POST TOP LIGHT (S2): CONDITION "A" 1"=1'-0"



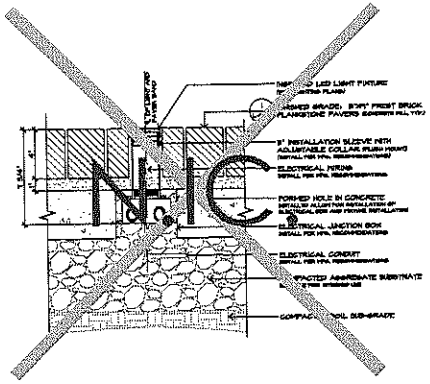
5 L-304 POST TOP LIGHT (S2): CONDITION "B" SCALE: 1" = 1'-0"



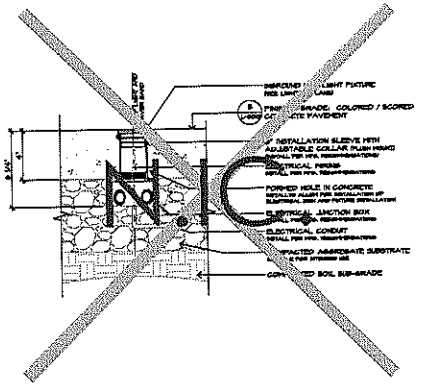
6 L-304 POST TOP LIGHT (S2): CONDITION "C" SCALE: 1" = 1'-0"



7 L-304 ODESSA CLUSTER COLUMN PROJECTOR (S3) 1"=1'-0"



8 L-304 INGROUND LED FIXTURE (R1) - PAVER INSTALLATION - BASE BID SCALE: 3" = 1'



9 L-304 INGROUND LED FIXTURE (R1) - CONCRETE PAVE. INSTALLATION - ADD ALT. SCALE: 3" = 1'

Site Details

Exchange Place
Jersey City, NJ

MELILLO+BAUER ASSOCIATES
Landscape Architecture
200 Main Avenue
Keyport, New Jersey 07735
T 732.264.3444
F 732.335.9177
www.melillobauerassoc.com

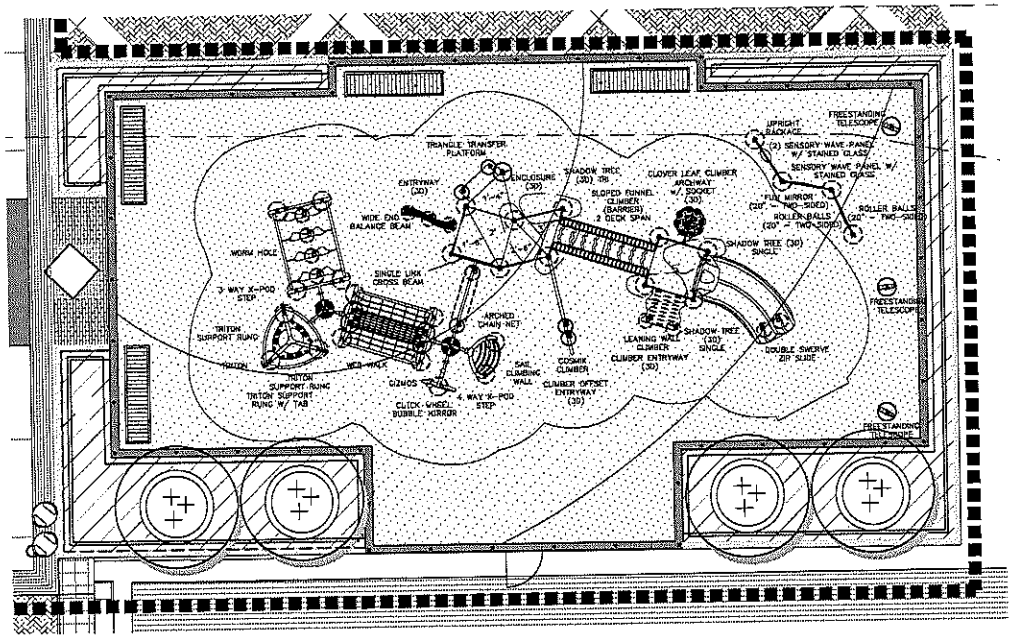
THOMAS A. GARGAN
NJ LICENSED LANDSCAPE ARCHITECT
#21AS00111

NO.	DATE	REVISION
3	02/17/23	ISSUED FOR REPRINT
2	09/19/22	ISSUED FOR BID
1	02/18/19	90 - 95% CONSTRUCTION DOCUMENTS

SCALE: AS NOTED
DATE: 07.20.2018 JOB NO.: 16-144

DRAWING NO.
L-304

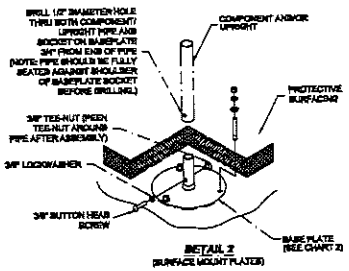
NOTE:
PLAY EQUIPMENT PIECES SHOWN ARE FOR BID PURPOSES ONLY. FINAL EQUIPMENT SELECTION TO BE MADE BY OWNERSHIP DIRECTION.



1 L-305 ENLARGEMENT: 2-12 YEAR PLAY AREA

SCALE: 1/4"= 1'-0"

DETAIL 1
(FOR SURFACE MOUNT INSTALLATIONS)



DETAIL 2
(SURFACE MOUNT PLATES)

CHART 2

O.D.	BASE PLATE
1 1/2"	1S2002
1 3/4"	1S2001
1 7/8"	1S2002
2 3/8"	1S2003
2 7/8"	1S2004
3 1/2"	1S2005
4"	1S2006

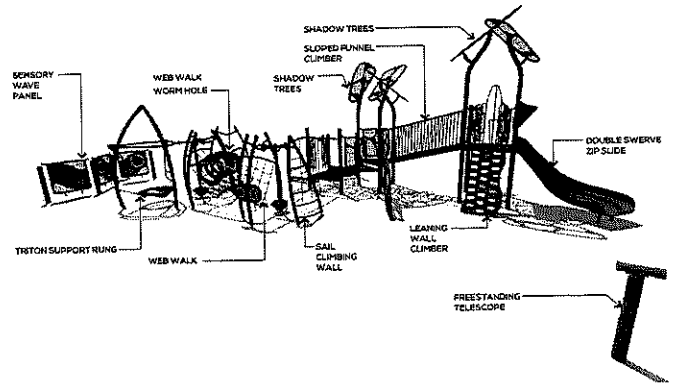
NOTES:
1. INDICATES MATERIAL TO BE REMOVED.
2. SOME INGROUND COMPONENTS REQUIRE EXTENSIONS. REVIEW YOUR STANDARD INSTALLATION SHEET IF EXTENSIONS ARE REQUIRED, ADJUST MATERIAL TO BE REMOVED ACCORDINGLY.
i.e. A COMPONENT REQUIRING 6" EXTENSIONS AND 9" SURFACING DEPTH IS TO BE 2", MATERIAL TO BE REMOVED WILL BE 22 1/16"

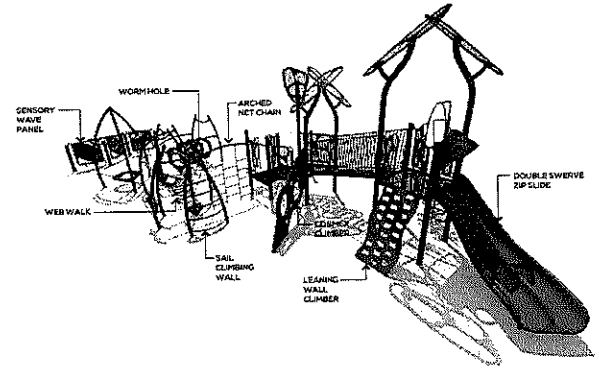
PLAY EQUIPMENT
AS MFG BY: GAMETIME
DIST. BY: MRC REC
REP: DONALD COOPER
PHONE: 732.781.9034
WEBSITE: www.mrcrec.com

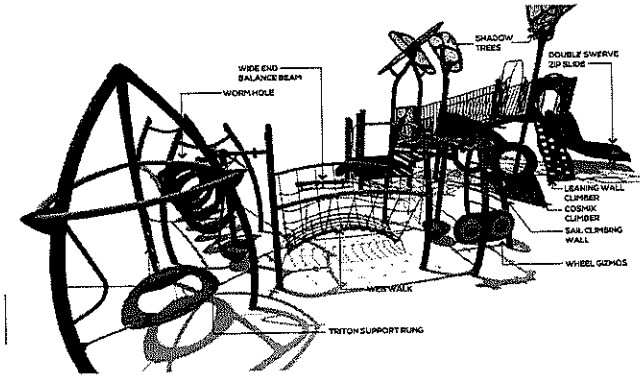
PLAY EQUIPMENT NOTE:
- FOUNDATIONS & FOOTINGS TO BE COORDINATED WITH PLAY EQUIPMENT MANUFACTURER'S COMPLETE SHOP DRAWINGS.
- PLAY STRUCTURE TO BE INSTALLED PER MFG RECOMMENDATIONS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL SAFETY ZONES PRIOR TO INSTALLATION.
- COLORS: TO BE SELECTED BY L.A.
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT AND OWNER'S REP FOR APPROVAL PRIOR TO ORDERING.

2 L-305 GAMETIME: SURFACE MOUNTING INSTRUCTIONS

SCALE: NTS







3 L-305 PERSPECTIVES: 2-12 YEAR PLAY AREA

SCALE: NTS

Site Details

Exchange Place
Jersey City, NJ

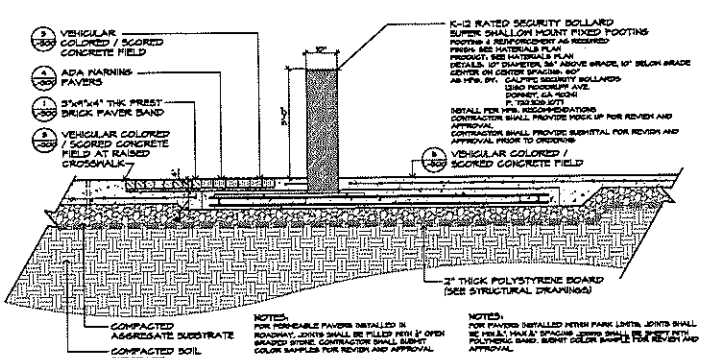
MELILLO+BAUER ASSOCIATES

THOMAS A. LAUBSAN
N.J. LICENSED LANDSCAPE ARCHITECT

NO	DATE	REVISION
3	1/14/2022	ISSUED FOR PERMIT
2	7/19/2021	ISSUED FOR BID
1	6/18/2021	REV. PER COMMENTS / CHANGES

DATE: AS NOTED
DATE: 05/25/2018 JOB NO.: 1 of 1

DRAWING NO
L-305



NOTES:
FOR PERMEABLE PAVERS INSTALLED IN ROADWAY, JOINTS SHALL BE FILLED WITH 3/8" OPEN GRADED STONE. CONTRACTOR SHALL SUBMIT COLOR SAMPLES FOR REVIEW AND APPROVAL

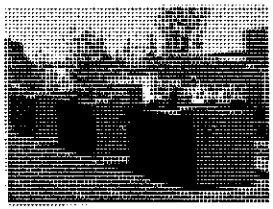
NOTES:
FOR PAVERS INSTALLED WITHIN PARK LIMITS, JOINTS SHALL BE HELD 1/4" MAX 3/8" SPACING. JOINTS SHALL BE FILLED WITH POLYMERIC SAND. SUBMIT COLOR SAMPLES FOR REVIEW AND APPROVAL

SECURITY BOLLARD BID NOTES:
1. CONTRACTORS TO PROVIDE DETAILED SHOP DRAWINGS INCLUDING, BUT NOT LIMITED TO, ALL BOLLARD, MOUNTING, STRUCTURAL & FIBER, REINFORCING, CONCRETE FOOTING AND CONTROLS / CONTROL SYSTEMS INFORMATION, DETAILS AND CALCULATIONS.
2. CONTRACTORS / MANUFACTURER'S BID PRICING TO INCLUDE ALL THIRD ENGINEERING SERVICES, CALCULATIONS, REPORTS AND CERTIFICATIONS REQUIRED TO SHOW BOLLARDS MEET K-12 RATING FOR REVIEW BY OWNERSHIP, DESIGN TEAM, PORT AUTHORITY OF NY&NJ AND HOMELAND SECURITY.
3. AT ANY LOCATION WHERE FOUNDATION CONFLICT WITH BURIED UTILITY CANNOT BE AVOIDED, THE FOUNDATIONS WILL REQUIRE SUITABLE NOTCHING AND/OR SLEEVING AROUND THE UTILITY, INCLUDING SUITABLE ISOLATION TO AVOIDING DISRUPTING THEM, SUBJECT TO REVIEW AND APPROVAL BY THE FOUNDATION DESIGNER AND UTILITY OWNER.

SECURITY BOLLARD NOTES:
1. THIS PRODUCT COMPLIES WITH PBR/K12 CERTIFICATION.
2. THIS BOLLARD SHALL BE REVIEWED BY PORT AUTHORITY PRIOR TO ORDERING AND CONSTRUCTION.

GENERAL NOTES:
1. IF COMPACTED AGGREGATE SUBSTRATE IS AN OPEN GRADED STONE, OPEN GRAVEL, OR OTHER POORLY GRADED FILL FILL BE PLACED OVER OR AGAINST THE SUBGRADE, A SUITABLE SEPERATION GEOTEXTILE (8-OZ/SQ. YARD/M HEAVY) SHOULD BE PLACED BELOW AND WRAPPED AROUND THE SIDES OF THE NEW FILL TO PREVENT MIGRATION OF FINES MATERIAL INTO THE FILL.
2. SHALLOW BOLLARD FOUNDATIONS SHALL HAVE 2" THICK POLYSTYRENE BOARD INSTALLED.

1 L-306 K-12 RATED SECURITY BOLLARD - SUPER SHALLOW FIXED — 3/4" = 1'-0"

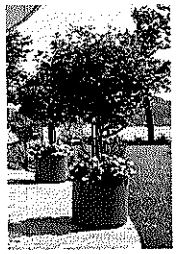


RECTANGULAR PRECAST PLANTER:
MODEL: DELTA TOCTAMBLE 50
COLOR: SEE MATERIALS SCHEDULE
SIZE: 59"L x 22"W x 24"H

AS MFR. BY:
GREENFORM, LLC
P: 714.293.3700
WWW.GREENFORM.COM

INSTALL PER MANUFACTURER RECOMMENDATIONS. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION / PURCHASE.

2 L-306 RECTANGULAR PRECAST PLANTER — NOT TO SCALE

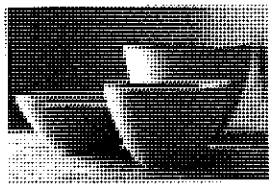


ROUND PRECAST PLANTER:
MODEL: DELTA ROUND 60
COLOR: SEE MATERIALS SCHEDULE
SIZE: 'A': 30" DIA. x 18" H
SIZE: 'B': 24" DIA. x 18" H

AS MFR. BY:
GREENFORM, LLC
P: 714.293.3700
WWW.GREENFORM.COM

INSTALL PER MANUFACTURER RECOMMENDATIONS. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION / PURCHASE.

3 L-306 ROUND PRECAST PLANTER — NOT TO SCALE

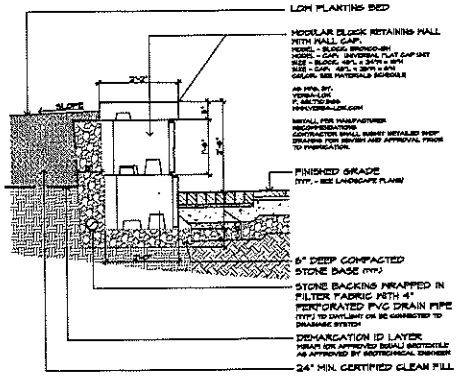


SCULPTURAL PRECAST PLANTER:
MODEL: DUNE
COLOR: SEE MATERIALS SCHEDULE
SIZE: 'A': 36" DIA. x 23" H
SIZE: 'B': 40" DIA. x 23" H
SIZE: 'C': 12" DIA. x 24" H

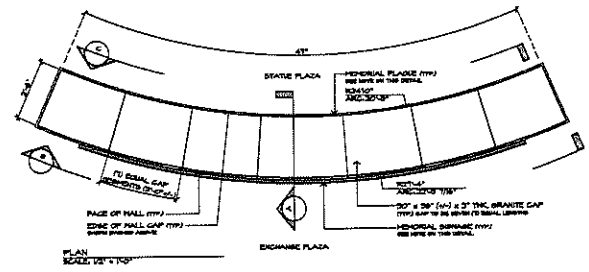
AS MFR. BY:
KONDRAT DESIGN
P: 917.283.8033
WWW.KONDRATDESIGN.COM

INSTALL PER MANUFACTURER RECOMMENDATIONS. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION / PURCHASE.

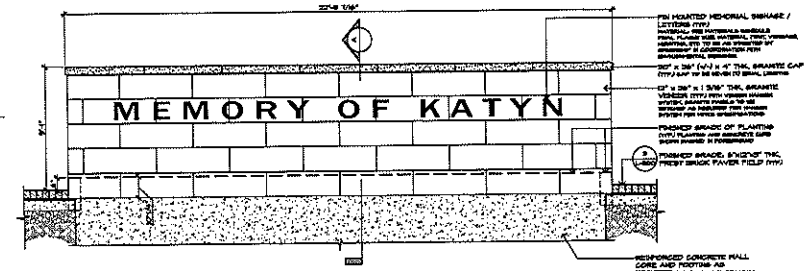
4 L-306 SCULPTURAL PLANTERS — NOT TO SCALE



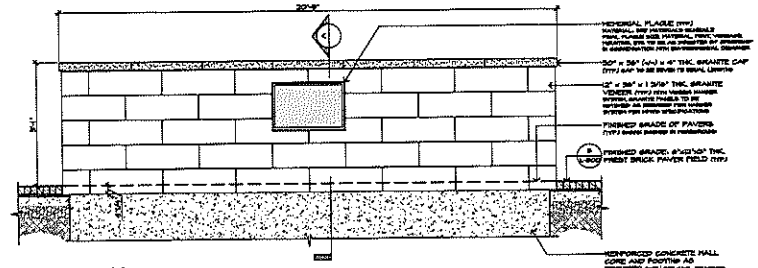
5 L-306 MODULAR PRECAST BLOCK RETAINING SEATWALL AT MONUMENT — 3/4" = 1'-0"



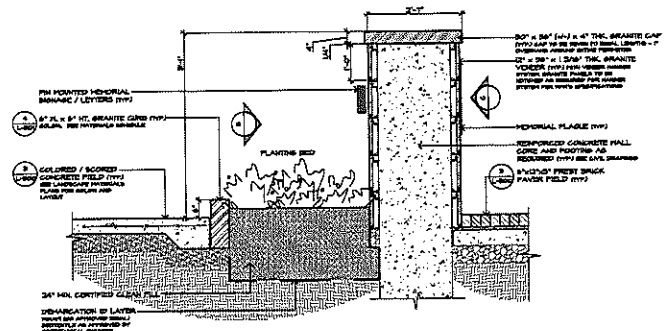
PLAN
SCALE: 1/2" = 1'-0"



ELEVATION SECTION "D"
SCALE: 1/2" = 1'-0"



ELEVATION SECTION "G"
SCALE: 1/2" = 1'-0"



SECTION "A"
SCALE: 3/4" = 1'-0"

6 L-306 MEMORIAL ENTRY WALL — SCALE AS NOTED

Site Details

Exchange Place
Jersey City, NJ

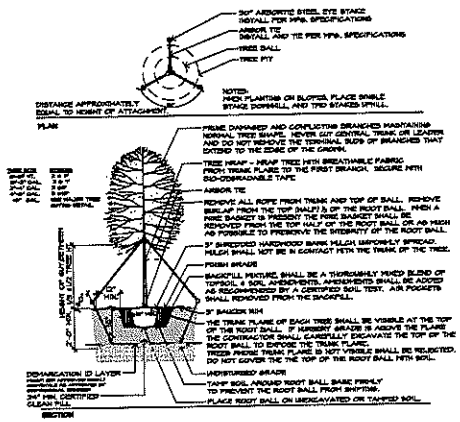
MELILLO+BAUER ASSOCIATES

THOMAS A. GIORDANO
N.J. LICENSED LANDSCAPE ARCHITECT

NO.	DATE	REVISION
3	10/24/22	ADDED DETAILS
2	10/18/21	UPDATED PLAN
1	10/28/19	REV. PER DEP COMMENTS

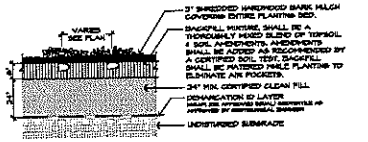
SCALE: AS NOTED
DATE: 07.03.2019 JOB NO: 19-248

DRAWING NO.
L-306

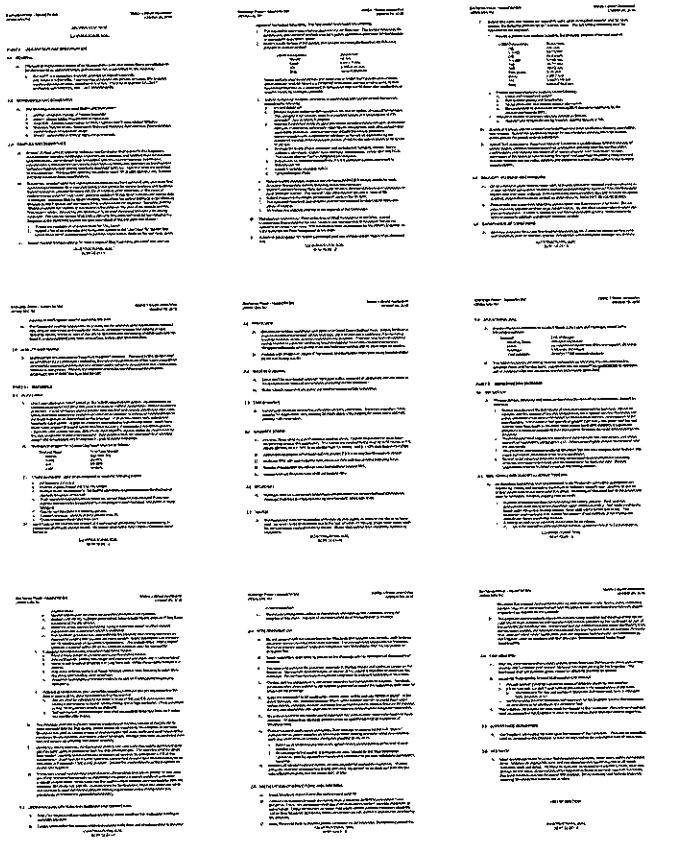


NOTES:
- CONTRACTOR SHALL PARTIALLY FILL PITS WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PIT DOESNOT PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- CONTRACTOR SHALL REMOVE STAKING, GUYING AND WRAP AT END OF GUARANTEE PERIOD. ALL PLANTING MUST BE GUARANTEED FOR ONE FULL GROWING SEASON FROM THE TIME OF FINAL ACCEPTANCE BY THE OWNER OR GOVERNING AUTHORITY.
- ON ALL FALL PLANTINGS THE CONTRACTOR SHALL WRAP THE TREES SPECIFIED BY THE LANDSCAPE ARCHITECT (NOT MORE FROM THE TRUNK FLARE TO THE FIRST BRANCH. TREE WRAP SHALL BE REMOVED BY APRIL 1. TREE WRAP SHALL BE BREATHABLE AND AS APPROVED BY THE LANDSCAPE ARCHITECT.
- TREE WRAP SHALL BE INSTALLED AT THE TIME OF PLANTING AND BE REMOVED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- TREE WRAP SHALL BE REMOVED NO LATER THAN 12 MONTHS AFTER PLANTING.
- TREES WHOSE NORTH ORIENTATION IS NOT CHANGED FROM THE NURSERY DO NOT NEED TO BE WRAPPED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- CUTS ON MULTI-STEM TREES TO BE MADE ON HEAVIEST BRANCHES OF PLANT.

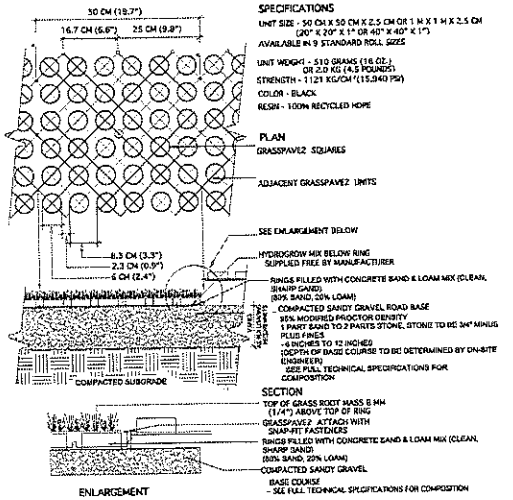
1 L-400 DETAIL: DECIDUOUS TREE PLANTING SCALE: 3/8" = 1'-0"



2 L-400 DETAIL: PERENNIAL PLANTING SCALE: 1/2" = 1'-0"



4 L-400 CU STRUCTURAL SOIL SPECIFICATION NTS



NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

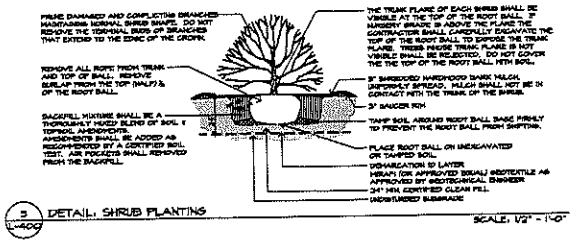
6 L-400 STABALIZED TURF: 40" x 40" x 1" ROLL NTS

PLANT NOTES:

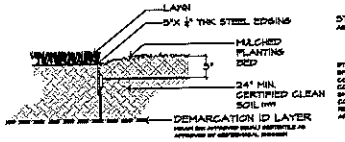
1. THE CONTRACTOR SHALL FURNISH QUANTITIES NECESSARY TO COMPLETE THE PLANTING AS SHOWN ON THE PLANTING PLANS.
   A. ALL PLANTS SHALL BE MEASURED BEFORE PRUNING. NECESSARY PRUNING SHALL BE PERFORMED AFTER THE PLANTS HAVE BEEN DELIVERED AND PRIOR TO INSTALLATION.
   B. PLANTS SHALL BE MEASURED BEFORE PRUNING. NECESSARY PRUNING SHALL BE PERFORMED AFTER THE PLANTS HAVE BEEN DELIVERED AND PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY MAJOR PRUNING REQUIREMENTS DUE TO DAMAGE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT EXCEEDS SIGNIFICANT PRUNING DUE TO DAMAGE FROM SHIPMENT OR HANDLING.
   C. WHERE FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OF SHRUBS IS SHOWN, STOCK SHALL BE SELECTED FOR UNIFORM HEIGHT AND SPREAD AND STAKED IN NUMBER TO ASSURE SHOWING IN PLANTING.
2. WHEN ALL PLANT MATERIAL HAS BEEN SELECTED AND PRE-TAGGED BY THE LANDSCAPE CONTRACTOR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN ORDER TO SCHEDULE THE NURSERY INSPECTION WITH A MINIMUM OF 3 DAYS ADVANCE NOTICE.
   A. THE CONTRACTOR SHALL ACCOMPANY THE LANDSCAPE ARCHITECT ON ALL INSPECTIONS.
   B. THE CONTRACTOR SHALL MAKE SUFFICIENT ALTERNATE CHOICES TO PREVENT LOSS OF TIME IN THE EVENT THAT SOME TREES FAIL TO MEET THE APPROVAL OF THE LANDSCAPE ARCHITECT.
   C. ALL TREES MUST BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.
3. LOCATIONS OF PLANT MATERIAL SHOWN ON PLANS ARE APPROXIMATE. FINAL LOCATIONS WILL VARY FROM PLAN AND SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.
   A. CONTRACTOR SHALL PROVIDE PREMARKED, COLOR-CODED FLAGS FOR ALL SHADE TREES, EVERGREEN TREES AND FLOWERING TREES
   B. LANDSCAPE ARCHITECT SHALL PLACE THE COLOR-CODED FLAGS TO INDICATE PLANT LOCATIONS.
   C. CONTRACTOR SHALL PLACE TREES AND/OR GROUPINGS IN ACCORDANCE WITH THE FLAGGED LOCATION. THE LANDSCAPE ARCHITECT MAY REQUEST THE CONTRACTOR TO MOVE, TURN OR RELOCATE THE PLANT MATERIAL AT THIS TIME. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED TO DIG PITS.
   D. UPON FINAL APPROVAL BY THE LANDSCAPE ARCHITECT OF TREE PLACEMENT, CONTRACTOR SHALL PAINT A CIRCLE AROUND THE BALL OF THE TREE. MOVE TREE AND EXCAVATE TREE PIT.
4. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, BE FREE FROM DEFECTS AND INJURIES AND COMPLY WITH ANY SPECIAL INSTRUCTIONS NOTED WITHIN THE PLANT LIST.
5. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT PLANT STOCK WHICH HAS NOT BEEN PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
6. QUALITY, BRANCHING AND SIZE OF PLANTS, INCLUDING ROOT SIZE SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" AND ZEO A-300A (MOST RECENT EDITION) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
7. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3-4 INCHES WITH SHREDDED HARDWOOD BARK MULCH. MULCH SHOULD NOT COME INTO CONTACT WITH THE ROOT COLLAR OF TREES OR SHRUBS. THE TOP OF THE ROOT BALL FOR ALL B&B PLANTS SHALL BE EXCAVATED TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE AT THE TOP OF THE BALL AND PLANTED LEVEL OR 1" ABOVE FINISHED GRADE. ALL EDGINGS SHALL BE CUT FOUR INCHES DEEP INTO A "V" SHAPED GROOVE TO PROVIDE A WELL DEFINED EDGE. THE LAYOUT OF ALL EDGINGS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT ON SITE PRIOR TO CUTTING.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK OUTS AND COMPLIANCE WITH ALL FEDERAL, STATE OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TREE GUYS, STAKES, SUPPORTS AND MULCH RINGS ON BOTH DURING THE CONSTRUCTION AND MAINTENANCE PERIOD.
11. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL. TREES SHALL BE PRUNED OF ANY BRANCHES THAT INTERFERE WITH PEDESTRIANS, VEHICLES OR SIGNS. SHADE TREES MUST BE SINGLE TRUNK, FULL FORM STRUCTURES. ALL PARKING LOT AND STREET TREES SHALL BE LIMBED TO A HEIGHT OF SEVEN FEET.
12. ANY DISCREPANCY BETWEEN THE PLANT AND REED CONTAINERS SHALL BE RESOLVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
13. ALL PLANTED AREAS & LAWN AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM THROUGH THE USE OF SURFACE OR DRIP IRRIGATION TO PROVIDE ADEQUATE WATER TO PROVIDE HEALTHY PLANT MATERIAL AND SOUND HORTICULTURAL PRACTICE. IRRIGATION CONTRACTOR SHALL SUBMIT PROPOSED IRRIGATION PLANS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WHEN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE. TREES AND SHRUBS SHOULD BE INSTALLED DURING THE FOLLOWING FALL AND SPRING SEASONS, WITH THE EXCEPTION OF TREES WHICH EXPERIENCE A FALL FOLIAGE HAZARD WHICH SHOULD ONLY BE PLANTED IN THE SPRING.
13. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF 2 YEARS FROM THE DATE OF LANDSCAPE APPROVAL BY TOWNSHIP LANDSCAPE ARCHITECT AND/OR REVIEWING AUTHORITY.

FALL:	AUG. 15-OCT. 15 EVERGREEN TREES
	OCT. 15-DEC. 15 DECIDUOUS TREES
SPRING:	MAR. 1-MAY 15 ALL PLANTS

FALL FOLIAGE HAZARDS
BETULA VARIETIES
CARPINUS VARIETIES
CELTIS VARIETIES
CERCIDIPHYLLUM VARIETIES
CRATAEGUS VARIETIES
FAGUS VARIETIES
HAMEDA VARIETIES
ILEX OPACA VARIETIES
ALL TRIFOLIATE INVERTEBRATE ILEX VARIETIES
LIQUIDAMBAR VARIETIES
NYSSA SYLVATICA
OSTRYA VARIETIES
PRUNUS ALL EDIBLE FRUITS
PYRUS VARIETIES
QUERCUS-ALL OAKS EXCEPT Q. PALUSTRIS
SASSAFRAS VARIETIES
TILIA TOMENTOSA VARIETIES
ZELKOVA VARIETIES



3 L-400 DETAIL: SHRUB PLANTING SCALE: 1/2" = 1'-0"



STEEL EDGING
AS MFR. BY: BORDER CONCEPTS
7400 LITTLE AVENUE, SUITE 420
CHARLOTTE, NC 28226
P: (800) 343-2838
INFO@BORDERCONCEPTS.COM
STANDARD LONG LENGTHS FOR MANUFACTURER'S SPECIFICATIONS
COLOR: BLACK
CORNERS-CORNERS SHALL BE WELDED AND GROUND SMOOTH
CONTRACTOR SHALL SUBMIT SAMPLE FOR OWNERS REPRESENTATIVE APPROVAL PRIOR TO PURCHASE AND INSTALLATION

5 L-400 DETAIL: TURF/MULCH TRENCH W/ STEEL EDGING SCALE: 1-1/2" = 1'-0"

Planting Details & Notes

Exchange Place
Jersey City, NJ

MELILLO + BAUER ASSOCIATES
LANDSCAPE ARCHITECTS
200 Main Avenue
Wallington, New Jersey 07057
T 732.528.5444
F 732.528.1691
www.melillo+bauer.com

THOMAS A. LANAHAN
NJ LICENSED LANDSCAPE ARCHITECT
LA004777

No.	Date	Revision
3	01/20/23	CONFORM TO PLANNING BOARD
2	11/18/22	CONFORM TO DRC
1	10/28/22	DRC - FOR CLIENT COMMENTS

Scale: AS NOTED
Date: 10-05-2022 Drawn by: T.A.L.A.P.

Drawing No.: L-400

PLANTING SPECIFICATIONS:

1.01 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and the General Requirements, apply to work of this section.

1.02 SCOPE OF WORK

A. Extent of landscape development work is shown on the drawings and in schedules. The Contractor shall supply all equipment, materials and labor to complete the "Landscape Work" as described, which includes the following:
1. Placing and Fine Grading the Topsoil
2. Seeding and Sodding
3. Planting

1.03 RELATED SECTIONS

A. Site Preparation
B. Earthwork
C. Site Concrete

1.04 REFERENCED STANDARDS

A. All plant material shall meet or, if indicated on the plant list, exceed the standards set forth in the current issue of the American Standard for Nursery Stock published by the American Association of Nurserymen (ANSI Z60.1). Height, spread and caliper sizes shall be as indicated on the plant list.
B. Nomenclature will be in accordance with Hortus III by L.H. Bailey.

1.05 SUBMITTALS

A. Certification
1. General
a. Certificates of inspection as required by governmental authorities.
b. Other data substantiating that materials comply with specified requirements.
2. Topsoil Testing
a. A laboratory test shall be conducted for each source of topsoil.
b. Topsoil testing shall be done prior to placing and shall be conducted by a Certified Soil Testing Laboratory at the Contractor's expense. The testing laboratory shall take representative topsoil samples as deemed necessary and shall submit results to the Engineer and Landscape Architect.
c. Topsoil test results shall include recommendations for topsoil amendments and fertilizer rates in order to ensure a proper growth medium for seed and sod.
d. The topsoil test shall determine the presence of a minimum of the following:
1.) Phosphorous
2.) Potassium
3.) Magnesium
4.) Calcium
5.) Sodium
6.) Nitrate – Nitrogen
7.) Sulfur
8.) Zinc
9.) Manganese
10.) Copper
11.) Iron
12.) Boron
13.) % organic matter (by rapid dichromate oxidation)
14.) Soil pH
15.) Buffer pH (if pH < 6.4)
16.) Excess carbonates (if pH > 6.4)
17.) Soluble salts (electrical conductivity)
18.) Cation Exchange Capacity (CEC)
19.) Percent base saturation
20.) Mechanical analysis (sand, silt and clay content) (As determined by the Bouyoucos Hydrometric Method)
3. Topsoil Amendments and Fertilizer
a. Manufacturer's or vendor's certified analysis for topsoil amendments and fertilizer materials shall be submitted to the landscape architect for review and approval.
4. Seed
a. Vendor's certified statement for each seed mixture required, stating botanical and common names, percentage by weight and percentages of purity, germination and weed seed for each seed species shall be submitted to the landscape architect for review and approval.
5. Sod
a. Vendor's certified analysis of sod composition and other data substantiating that sod material complies with specified requirements shall be submitted to the landscape architect for review and approval.

[illegible]

B. Landscape Schedule

[illegible]

1.06 SUBSTITUTIONS

[illegible]

1.07 QUALITY ASSURANCE

[illegible]

1.08 DELIVERY, STORAGE AND HANDLING

[illegible]

1.09 PROJECT CONDITIONS

[illegible]

1.10 INSPECTION AND ACCEPTANCE

[illegible]

1.11 WARRANTY

[illegible]

PART 2 - PRODUCTS

2.01 TOPSOIL

[illegible]

2.02 PLANTING BACKFILL MIXTURE

[illegible]

2.03 SOIL AMENDMENTS

A. Lime: Material shall be ground or pulverized limestone which contains at least 60% total oxides, i.e. calcium oxide plus magnesium oxide. [illegible]

B. Aluminum Sulfate: Commercial grade.
C. Peat Moss: Type 1 sphagnum peat moss; finely divided with a pH of 3.5 to 5.5.
D. Native Peat: Decomposed peat containing no identifiable fibers.
E. Leaf Compost: Screened and free of trash.
F. Pine Bark: Potting grade pine bark with no particle size larger than 1/2" and less than 10% wood fiber.
G. Bone Meal: Finely ground and with a minimum analysis of 3% nitrogen and 20% available phosphoric acid.
H. Sand: Clean washed sand free of toxic materials.
I. Perlite: Conforming to the National Bureau of Standards PS 23.
J. Vermiculite: Horticultural grade, free of toxic substances.
K. Sawdust: Rotted sawdust, free of chips, stones, sticks soil or toxic substances and with 7.5 pounds nitrogen uniformly mixed into each cubic yard [illegible]
L. Manure: Well-rotted, unleached stable or cattle manure containing not more than 25% by volume of straw, sawdust or other bedding materials [illegible]

2.04 FERTILIZER

A. All fertilizer shall be granular pels, packets or pellets with 50% to 80% of the total nitrogen in a slow release form.
B. For trees, shrubs and groundcover: Fertilizer shall be complete with a minimum analysis of 10% nitrogen, 5% phosphorous and 4% potassium [illegible] phosphorous and 12% potassium) shall be used for woody plants.
C. For perennials, annuals and bulbs: Fertilizer shall be a complete fertilizer that is slow released.
D. All fertilizers shall be uniform in composition, free flowing and suitable for application with approved equipment. Fertilizers shall be delivered [illegible] and shall bear the name, trade name or trade mark, and warranty of the producer. Application rates shall be determined by soil test recommendations.

2.05 WEED CONTROL

A. Any herbicide used must be approved by Federal and State Authorities for use in this area.
B. Contractor shall submit brand name and content of broad-leafed herbicide to be used to Landscape Architect for approval prior to any weed control application.
C. Application rates shall be as appropriate for amount of weed control required and shall be as per manufacturer's recommendations.
D. Contractor shall post warning flags in all areas treated with weed control.

2.06 MULCH

A. Shredded Hardwood Bark Mulch
1. Material shall be composted, double-shredded hardwood bark (or pine bark with less than 10% sapwood), dark brown in color, or approved equal.
2. Material shall be uniform in size, free of foreign matter and suitable for top dressing of trees, shrubs or perennials.
3. Samples shall be submitted to Landscape Architect for approval prior to purchase and delivery.

B. Mulch for Seeded Areas
1. Straw shall be free of rot, mildew, noxious weed seeds and shall be small-grained, such as wheat or barley.
2. Cellulose fiber mulch shall consist of specially prepared cellulose processed into a uniform fibrous physical state. [illegible]
3. Prefabricated wood shaving mat shall be woven and may contain light weight plastic netting on one or both sides.
4. Stabilizing Materials
a. Mulch anchoring tool is a tractor-drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2". [illegible]
b. Cellulose fiber may be used for anchoring straw. The fiber binding shall be applied at a net dry weight of 750 pounds per acre. [illegible] contain a maximum of 50 pounds of cellulose fiber per 100 gallons of water.
c. Liquid Mulch Binder

[illegible]

2.07 GUYING AND STAKING

[illegible]

2.08 TREE WRAP

[illegible]

2.09 ANTI-DESICCANT

[illegible]

2.10 PLANT MATERIALS

[illegible]

2.11 SEED

[illegible]

2.12 SOD

[illegible]

PART 3 - EXECUTION

3.01 SEEDING NEW LAWNS

[illegible]

3.02 SODDING (Where applicable)

[illegible]

3.03 TREE PLANTING

[illegible]

3.04 SHRUB PLANTING

[illegible]

3.05 PLANTING GROUNDCOVER AND PERENNIALS

[illegible]

Planting Specifications

Exchange Place
Jersey City, NJ

MELILLO + BAUER
ASSOCIATES
Landscape Architects

[illegible]

THOMAS N. CARMAN
N.J. LICENSED
LANDSCAPE ARCHITECT
#AS00[illegible]

NO.	DATE	REVISION
3	[illegible]	ISSUED FOR PERMIT
2	[illegible]	ISSUED FOR BID
1	[illegible]	REV. PER CLIENT COMMENTS

SCALE: [illegible]

DATE: [illegible] JOB NO.: [illegible]

DRAWING NO.
L-401

Exhibit I

static1.squarespace.com/static/62609f16453691 4f07549b10/t/63910ec1a74ab27bd4ba9cb0/1670450899667/FWSU+2022-06-13_16-149_ExchangePlace_MBC_Landscape_IssuedForPermit.pdf

EXCHANGE PLACE

Document properties

File name:	[illegible]
File size:	[illegible]
Title:	[illegible]
Author:	-
Subject:	-
Keywords:	-
Created:	[illegible]
Modified:	[illegible]
Application:	[illegible]
PDF producer:	[illegible]
PDF version:	1.7
Page count:	[illegible]
Page size:	[illegible]
Fast web view:	No

Close

Exhibit J

Ordinance of the City of Jersey City, N.J.

File No. **Ord. 20-062**
Agenda No. **3.2 (1st Reading)**
Agenda No. **4.2 (2nd Reading and Final Passage)**

ORDINANCE IMPLEMENTING CHAPTER 67 (PEDESTRIAN MALLS), ARTICLE II (EXCHANGE PLACE PEDESTRIAN MALL).

COUNCIL AS A WHOLE offered and moved adoption of the following ordinance:

A. The following implementation to CHAPTER 67 (Pedestrian Malls), ARTICLE II (Exchange Place Pedestrian Mall) are hereby adopted:

PEDESTRIAN MALLS
ARTICLE II
Exchange Place Pedestrian Mall

§2-1. Definitions.

The following terms shall have the meanings indicated:

A. A. "Pedestrian Mall" or "Pedestrian Mall Improvement" or "Pedestrian Plaza" or "Mall": Pursuant to N.J.S.A. 40:56-65 et seq., any local improvement designed to be used primarily for the movement, safety, convenience and enjoyment of pedestrians, whether or not a part of a street, that is set apart for roadway or emergency vehicles, transit vehicles and private vehicles, or any of them. A Pedestrian Mall Improvement shall include but not be limited to pedestrian thoroughfares, perimeter parking, public seating, park areas, outdoor cafes, shelters, trees, flower plantings, sculpture, newsstands, telephone booths, traffic signs, kiosks, fire hydrants, street lighting, ornamental signs, ornamental lights, trash receptacles, display cases, marquees, awnings, canopies, overhead radiant heating fixtures, underground radiant heating pipes and devices, walls, bollards and chains and all such other fixtures, equipment, facilities and appurtenances which in the judgment of the governing body of a municipality will enhance the movement, safety, convenience and enjoyment of pedestrians and benefit the municipality and adjoining properties.

§2-2. Findings.

A. A. The Mayor and Council find and declare:

(1) The City of Jersey City may undertake development and maintenance of a Pedestrian Mall as a local improvement pursuant to this act and provisions of N.J.S.A. 40:56-67 et seq.

(2) That an Exchange Place Pedestrian Mall will enhance the movement, safety, convenience and enjoyment of pedestrians.

(3) That Exchange Place, between Hudson Street and the Hudson River Waterfront Walkway, is not a part of any state highway, is located primarily in a business district and is improved to its maximum feasible width with regard to adjoining buildings and improvements.

(4) That a reasonably convenient alternative route to other parts of the City and state exists for private vehicles.

APPROVED AS TO LEGAL FORM

Business Administrator

Corporation Counsel

☐ Certification Required

(5) That continued unlimited use of the street or part thereof by private vehicles may constitute a hazard to the health and safety of pedestrians.

(6) That abutting properties can reasonably and adequately be provided with emergency vehicular services and receive and deliver merchandise and materials from other streets and alleys or by provisions for limited use of the streets by emergency vehicles and carriers of such merchandise and materials.

(7) That it is in the best interest of the City and the public and of benefit to adjacent properties to use such street primarily for pedestrian purposes, and that pedestrian use is determined to be the highest and best use of such street or part thereof.

§2-3. Limitations.

A. A. A Pedestrian Mall shall be created on the following street(s) or portion thereof:

(1) Exchange Place, between Hudson Street and the Hudson River Waterfront Walkway, as indicated on the street map on file in the Office of the City Clerk. This excludes Private Access Road.

A. B. The use of the surface of the above described Exchange Place shall be limited at all times to pedestrians and also emergency, public works, waste removal, other maintenance and service vehicles ("Permitted Vehicles"), as well as other vehicles explicitly permitted by the City under Section 4 below.

B. C. The Exchange Place Alliance Special Improvement District shall maintain the Exchange Place Pedestrian Mall Operating Plan that shall contain rules and regulations regarding the specific permitted uses of the Mall, including but not limited to special events, food and beverage service, and improvements and maintenance of the mall.

C. D. The City acknowledges that there is access to other streets for delivery of or receiving merchandise or materials.

§2-4. Use of pedestrian mall; control and regulation.

D. A. Under the direction of the Mayor and governing body, a pedestrian mall may be used for any purpose or activity which will enhance the movement, safety convenience or enjoyment of pedestrians, subject to the limitations set forth in this section.

E. B. The Exchange Place Alliance Special Improvement District shall maintain a Pedestrian Mall Operating Plan, to be enforced by the Department of Public Safety and the Division of Commerce that will provide for the control and regulation of:

(1) The distribution and location of movable furniture, sculpture or pedestrian traffic control devices, landscaping and other facilities belonging to the mall and not otherwise located or fixed by plans and specifications.

(2) The uses to be permitted on the Mall by occupants of abutting properties, including but not limited to transit or telephone utilities and other concessionaries.

(3) The issuance of permits to conduct any special activity(ies) or operation(s) consistent with the broad purpose of the Mall, subject to the limitations set forth in this section.

(4) The operation of any heating or other facilities and replacing landscaping and maintain furniture and facilities in the Mall.

(5) The designation of parking space and/or other specifically reserved uses of them, all or portions thereof.

(6) Pursuant to N.J.S.A. 40:56-69 et seq., the regulation of a limited amount of local vehicle traffic in order to allow for deliveries, pickups and/or drop-offs of business patrons or employees, and/or other loading and unloading of personnel, materials or other goods

to be used directly or indirectly by a business and/or residence along the pedestrian mall.

F. C. The following minimum restrictions and regulations shall be in effect at all times within the Mall and shall be noted in the Pedestrian Mall Operating Plan"

(1) Any person(s) creating undue amounts of noise, waste and/or a potentially dangerous or threatening environment for any mall patrons will be subject to removal from the Pedestrian Mall and subject to additional penalties allowed by law, if applicable.

(2) No person may loiter in the Pedestrian Mall between the hours of 11:00 pm and 6:00 am, whether or not that person is making use of any Pedestrian Mall public seating, fixtures or any other Pedestrian Mall features. Any person in violation of this section will be subject to removal from the Pedestrian Mall in addition to any other penalties allowed by law, if applicable.

(3) Amplified music or other amplified sounds shall be allowed within the Pedestrian Mall so long as applicable permits have been issued either by the Office of Cultural Affairs or other applicable authority or in accordance with the requirements set forth herein. Any other limits on music or noise (including, without limitation, maximum permitted decibel levels) that would otherwise be applicable to Exchange Place with or without the establishment of the Mall shall remain in full force and in effect within this area.

(4) All rooftop areas of bars and/or restaurants must operate in accordance with applicable city rules and regulations regarding closing time and food and beverage service.

G. D. The following minimum restrictions and regulations with regard to vehicle access shall be in effect at all times within the Mall and shall be noted in the Pedestrian Mall Operating Plan

(1) Vehicles are not permitted to enter the Pedestrian Mall at any time, except for the following permitted vehicles; emergency, public works, waste removal, other maintenance and service vehicles ("Permitted Vehicles") and only under the following conditions:

a. Permitted Vehicles specific to waste removal operations may only enter the Pedestrian Mall between the hours of 2:00 AM and 7:00 AM, daily.
b. Permitted Vehicles must not remain stationary in any portion of the Pedestrian Mall except along the interior perimeter, explicitly not in the middle area.
c. Permitted Vehicle size is limited to any vehicle with two axles or less.
d. Permitted Vehicles shall enter the Pedestrian Mall only from demarcated access points.
e. Permitted Vehicles may travel at speeds up to five miles per hour.
f. Vehicles that requires access for periods longer than 15 minutes and/or outside of the approved access hours must receive approval from the Division of Engineering, Traffic & Transportation.

§2-5. Notice to owners and public meeting.

A. At least ten (10) days prior to the date fixed for a public hearing, a copy of the proposed ordinance and notice of the date, time and place of the hearing shall be mailed to the owners of the lots and parcels of land abutting or directly affected by the Pedestrian Mall.
B. The City shall hold a public feedback review meeting between six (6) and eight (8) months after approval of the ordinance from which this article derives and full implementation and construction of the mall. The purpose of this meeting will be to discuss issues and any possible changes and/or improvements to the mall. Adequate notice shall be provided to all property owners within six hundred (600) feet of any mall boundary, the Exchange Place Alliance Special Improvement District, and other adjacent communities and community groups.

§2-6. Operating Plan.

H. A. The Mall shall be operated and maintained pursuant to the regulations and restrictions set forth in this Article and also the Exchange Place Pedestrian Mall Operating Plan maintained by the Exchange Place Alliance Special Improvement District and also pursuant to provisions of N.J.S.A. 40:56-65, et seq.

§2-7. Specifications for construction.

I. A. The Jersey City Division of Architecture and Engineering and the Jersey City Department of Public Works shall approve the materials or combinations thereof of which the Pedestrian Mall shall be constructed if applicable. The City may in its discretion narrow any roadway to be kept and maintained in connection with any pedestrian mall, may cause any street vaults to be reconstructed or removed, may construct crosswalks at any point within a block and may cause the roadway to curve and meander within the limits of the street to enhance the usefulness and appearance of the pedestrian mall.

§2-8. Municipal power retained.

J. A. Notwithstanding the improvement of any street as a pedestrian mall, the City of Jersey City shall retain all its powers relating to the street or part thereof constituting the mall.

K. B. No such action shall be construed as a vacation in whole or in part, the establishment of a pedestrian mall is a matter of regulation only.

§2-9. Abandonment of operation.

L. A. Nothing shall prevent the City, from subsequently abandoning the operation of the pedestrian mall, changing special assessments or taxes for annual costs or changing or repealing any limitation on the use of the mall for a particular purpose by ordinance.

§2-10. Procedures incident to development and maintenance.

M. A. Condemnation proceedings and all other procedures incident to be development and maintenance of a pedestrian mall shall be authorized under N.J.S.A. 40:56-69 et seq., if required.

a. All ordinances and parts of ordinances inconsistent herewith are hereby repealed ***with the exception of Ordinance 18-144.***

b. The City Clerk shall have this ordinance codified and incorporated in the official copies of the Jersey City Code.

c. This ordinance shall take effect at the time and in the manner as provided by law.

d. The City Clerk and the Corporation Counsel may change any chapter numbers, article numbers and section numbers if codification of this ordinance reveals a conflict of those numbers and the existing code, in order to avoid confusion and possible accidental repealers of existing provisions.

e. The Jersey City Division of Planning is hereby directed to give notice at least ten (10) days prior to the hearing on the adoption of this Ordinance to the Hudson County Planning board and to all other persons entitled thereto pursuant to N.J.S.A. 40:55D-15 and 40:55D-63 (if required). Upon the adoption of this Ordinance after public hearing thereon, the City Clerk is directed to publish notice of the passage thereof and to file a copy of the Ordinance as finally adopted with the Hudson County Planning Board as required by N.J.S.A. 40:55D-16. The Clerk shall also forthwith transmit a copy of this Ordinance after final passage to the Municipal Tax Assessor as required by N.J.S.A. 40:49-2.1

Note: All matter is new therefore underlining has been omitted.
Amendment is underlined and in italics.

Ord. 20-062

Ordinance implementing Chapter 67 (Pedestrian Malls), Article ii (Exchange Place pedestrian mall).

Ord. 20-062

Ordinance implementing Chapter 67 (Pedestrian Malls), Article ii (Exchange Place pedestrian mall).

RECORD OF COUNCIL VOTE ON INTRODUCTION – Aug 12 2020						
RIDLEY	AYE	SALEH	AYE	LAVARRO	AYE	8-1
PRINZ-AREY	AYE	SOLOMON	AYE	RIVERA	AYE	
BOGGIANO	NAY	ROBINSON	AYE	WATTERMAN, PRES	AYE	

RECORD OF COUNCIL VOTE TO CLOSE PUBLIC HEARING –						
RIDLEY		SALEH		LAVARRO		
PRINZ-AREY		SOLOMON		RIVERA		
BOGGIANO		ROBINSON		WATTERMAN, PRES.		

RECORD OF COUNCIL VOTE ON AMENDMENTS, IF ANY –						
RIDLEY		SALEH		LAVARRO		
PRINZ-AREY		SOLOMON		RIVERA		
BOGGIANO		ROBINSON		WATTERMAN, PRES.		

RECORD OF FINAL COUNCIL VOTE – Sep 10 2020						
RIDLEY	AYE	SALEH	AYE	LAVARRO	AYE	8-0
PRINZ-AREY	AYE	SOLOMON	AYE	RIVERA	AYE	
BOGGIANO	AYE	ROBINSON	AYE	WATTERMAN, PRES.	ABSENT	

Adopted on first reading of the Council of Jersey City, N.J. on **Aug 12 2020**
Adopted on second and final reading after hearing on **Sep 10 2020**

This is to certify that the foregoing Ordinance was adopted by the Municipal Council at its meeting on Sep 10 2020

City Clerk

Joyce E. Watterman, President of Council
Approved: Sep 10 2020

Amendment(s):
Amendments are underlined and in italics. The Operating Plan was also amended. See attachment.

Steven M. Fulop, Mayor
Date to Mayor: Sep 11 2020
Approved: Sep 11 2020

Exhibit K

A COPY OF THIS DEED HAS BEEN SENT TO ASSESSOR'S OFFICE 2

Prepared by: Richard A. O'Halloran, Esq.

This Receiver's Deed is made as of this 11 day of January, 2012

Between: IVL GROUP, LLC (Grantor"), having an address of 60 Roseland Avenue Caldwell, NJ 07006;

And: ONE EXCHANGE JC LLC ("Grantee"), having an address of 900 Route 9 North, Suite 301, Woodbridge, NJ 07095;

Transfer of Ownership. Grantor grants and coveys (and transfers ownership of) the property described below to the Grantee.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Municipality of: Jersey City, Hudson County, New Jersey; Block 7; Lots A.01 and A.01 Qual: T01.

Property. The property consists of that certain tract of land ("Land") described in **Exhibit "A"** hereto, together with all improvements thereon and all rights, collateral and appurtenances appertaining thereto (herein collectively called the "Property"), all as more fully described in that certain Mortgage And Security Agreement given by One Exchange Place Associates L.L.C. and dated as of February 28, 2007 and recorded on March 5, 2007 with Office of the Clerk of Hudson County, New Jersey (the "Clerk") in Mortgage Book 15565 at Page 275, et seq., as assigned by assignments recorded on May 15, 2009 with the Clerk in Book 1171, Page 236 (the "Mortgage") and those UCC-1 Financing Statements (the "UCC-1 Financing Statements") given by One Exchange Place Associates L.L.C. incident thereto.

WHEREAS, on May 18, 2009, Grantee did file a certain foreclosure action against One Exchange Place Associates L.L.C. in the United States District Court for the District of New Jersey at No. 2:09-cv-02353-FSH -PS (the "Foreclosure Action"); and

WHEREAS, on June 18, 2010 the Court in the Foreclosure Action entered an Order for Consent Judgment in Mortgage Foreclosure (the "Judgment Order"), a copy of which is attached hereto as **Exhibit "B"**;

WHEREAS, on August 11, 2011 the Court in the Foreclosure Action entered an Order (the "Receivership Order") appointing Grantor as Receiver for the real property more fully described in **Exhibit "A"** hereto;

WHEREAS, the Receivership Order authorized the Grantor, upon the entry of judgment in mortgage foreclosure in the Foreclosure Action to make and conduct a foreclosure sale pursuant to 28 U.S.C. § 2001, et seq.;

WHEREAS, on September 22, 2011 the Receiver conducted a foreclosure sale (the "Sale") of the Mortgaged Property pursuant to 28 U.S.C. § 2001, et seq., and Grantee herein was the successful bidder at the Sale; and

$170-1H P3. +3.00 H.T.F. 7/12

Case 2:09-cv-02353-FSH -PS Document 79-1 Filed 12/21/11 Page 3 of 3 PageID: 1149

EXHIBIT "A"

All that certain Lot, piece or parcel land, with the buildings and improvements thereon erected, situate, lying and being in the City of Jersey City, County of Hudson, State of New Jersey:

BEGINNING at the intersection of the easterly right of way line of Hudson Street (70.00 feet wide) with the southerly right of way line of Exchange Place (140.00 feet wide) and running; thence

1. **Along the southerly right of way line of Exchange Place, South 81 degrees 26 minutes 50 seconds East, a distance of 80.77 feet to a point; thence**
2. **Along the westerly property line of Lot 19 in Block 7, South 09 degrees 03 minutes 10 seconds West, a distance of 90.00 feet to a point; thence**
3. **Along the same, South 81 degrees 26 minutes 50 seconds East, a distance of 40.86 feet to a point; thence**
4. **Along the same, South 08 degrees 36 minutes 10 seconds West, a distance of 82.93 feet to a point; thence**
5. **Along the northerly right of way line of York Street (60.00 feet wide), North 81 degrees 19 minutes 50 seconds West, a distance of 121.00 feet to a point; thence**
6. **Along the easterly right of way line of Hudson Street, North 08 degrees 36 minutes 10 seconds West, a distance of 162.68 feet to the point and place of BEGINNING.**

FOR INFORMATIONAL PURPOSES ONLY:

Premises described herein is designated as Lot A.01 and A.01 Qual: T01, Block 7 on the Tax Map of the City of Jersey City, County of Hudson, State of New Jersey

WHEREAS, by order dated January 3, 2012 the Court in the Foreclosure Action entered an Order confirming the receivership sale and terminating the receivership (the "Confirmation Order"), a copy of which is attached hereto as **Exhibit "C"**.

IN WITNESS WHEREOF, this deed is signed by the Grantor as of the date at the top of the first page of this deed.

GRANTOR:

IVL GROUP, LLC

By: _____
Name: IAN LAGOWITZ
Title: MEMBER

Witness: LMartinez
Lisa Martinez

STATE OF New Jersey)
) ss.
COUNTY OF Essex)

I certify that on January 11, 2012 IAN Lagowitz personally came before me and stated to my satisfaction that this person (or if more than one, each person): (a) was the maker of the attached instrument; (b) was authorized to and did executed this instrument as a Member of IVL GROUP, LLC, the entity named in this instrument; and (c) executed this instrument as the act of the entity named in this instrument.

LMartinez
Notary Public

LISA MARTINEZ
Notary Public of New Jersey
I.D. #2376517
~~Commission Expires~~ 8/7/2013

My commission expires:

RECORD AND RETURN TO:
Burns White LLC
100 Four Falls, Suite 515
1001 Conshohocken State Road
West Conshohocken, PA 19428
Attn: Richard A. O'Halloran

Exhibit A

[Legal Description]

EXHIBIT "A"

All that certain Lot, piece or parcel land, with the buildings and improvements thereon erected, situate, lying and being in the City of Jersey City, County of Hudson, State of New Jersey:

BEGINNING at the intersection of the easterly right of way line of Hudson Street (70.00 feet wide) with the southerly right of way line of Exchange Place (140.00 feet wide) and running; thence

1. **Along the southerly right of way line of Exchange Place, South 81 degrees 26 minutes 50 seconds East, a distance of 80.77 feet to a point; thence**
2. **Along the westerly property line of Lot 19 in Block 7, South 09 degrees 03 minutes 10 seconds West, a distance of 90.00 feet to a point; thence**
3. **Along the same, South 81 degrees 26 minutes 50 seconds East, a distance of 40.86 feet to a point; thence**
4. **Along the same, South 08 degrees 36 minutes 10 seconds West, a distance of 82.93 feet to a point; thence**
5. **Along the northerly right of way line of York Street (60.00 feet wide), North 81 degrees 19 minutes 50 seconds West, a distance of 121.00 feet to a point; thence**
6. **Along the easterly right of way line of Hudson Street, North 08 degrees 36 minutes 10 seconds West, a distance of 162.68 feet to the point and place of BEGINNING.**

FOR INFORMATIONAL PURPOSES ONLY:

Premises described herein is designated as Lot A.01 and A.01 Qual: T01, Block 7 on the Tax Map of the City of Jersey City, County of Hudson, State of New Jersey

Exhibit B

[Judgment Order]

IN THE UNITED STATES DISTRICT COURT
FOR THE DISTRICT OF NEW JERSEY

BANK OF AMERICA, NATIONAL ASSOCIATION, AS SUCCESSOR BY MERGER TO LASALLE BANK NATIONAL ASSOCIATION, AS TRUSTEE FOR MORGAN STANLEY CAPITAL I, INC., COMMERCIAL MORTGAGE PASS- THROUGH CERTIFICATES, SERIES 2007-TOP27, Plaintiff,	:	
v.	:	No. 09-CV-02353-FSH-PS
ONE EXCHANGE PLACE ASSOCIATES, L.L.C. Defendant.	:	

ORDER

AND NOW, this 18th day of June, 2010, upon consideration of the Motion of Plaintiff for the entry of Summary Judgment, together with Defendant's response thereto, together with all supplemental briefs, it is hereby ORDERED and DECREED that Summary Judgment is entered in favor of Plaintiff and against Defendant, as follows:

A. Foreclosing all right, title, lien and equity of redemption which said Defendant and all those claiming by, through or under it has or had in the Mortgaged Premises located at One Exchange Place, Jersey City, New Jersey, being Lots A.01, A.01T01, Block 7, Tax Map of the City of Jersey City, County of Hudson, and ordering that said property be sold at foreclosure sale;

B. Fixing the amount due under the Note and Mortgage as of May 14, 2010 at $12,074,153.43, together with continuing per diem interest thereon in the amount of $1,502.50

per day at the regular rate and continuing per diem interest thereon in the amount of $1,388.8889 per day at the default rate from and after May 15, 2010 until the Mortgaged Premises is sold at foreclosure sale, together with any and all other amounts advanced by Plaintiff until the Mortgaged Premises is sold at foreclosure sale, together with continuing attorneys' fees until the Mortgaged Premises is sold at foreclosure sale.

BY THE COURT:

Hon. Faith S. Hochberg U.S.D.J.

Exhibit C

[Confirmation Order]

Case 2:09-cv-02353-FSH -PS Document 79-1 Filed 12/21/11 Page 1 of 3 PageID: 1147

IN THE UNITED STATES DISTRICT COURT
FOR DISTRICT OF NEW JERSEY

ONE EXCHANGE JC LLC Plaintiff, v. ONE EXCHANGE PLACE ASSOCIATES L.L.C.	No. 09-cv-02353-FSH-PS

ORDER CONFIRMING RECEIVER'S SALE

This matter is before the Court on the joint application of Plaintiff, One Exchange JC LLC and Defendant, One Exchange Place Associates L.L.C. to confirm the public foreclosure sale (the "Sale") conducted on September 22, by the IVL Group, LLC (the "Receiver"), the Receiver appointed by this Court pursuant to that certain Order Appointing Receiver entered on the docket on August 3, 2011, which Sale exposed for sale pursuant to 28 U.S.C. section 2001 et. seq., the property located at One Exchange Place, Jersey City, Hudson County, NJ, all as more fully described in **Exhibit A** hereto and the Defendant's collateral (the "UCC Collateral") located thereon as secured by certain UCC-1 Financing Statements given by Defendant (all of the foregoing, collectively, the "Mortgaged Property"), Judgment having previously been entered by this Court against the Defendant, the aforesaid Sale having been properly advertised and properly conducted by the Receiver, resulting in Plaintiff One Exchange JC LLC having been the highest bidder at the sale by way of a credit bid against its judgment (the "Credit Bid"), which Credit Bid is valid and comports in all respects with applicable law,

ACCORDINGLY, IT IS HEREBY ORDERED AND DECREED AS FOLLOWS:

1. The Sale is confirmed as valid and effectual in all respects, and the Mortgaged Property shall pass by deed (the "Receiver's Deed") and such other conveyance documents as

Case 2:09-cv-02353-FSH -PS Document 79-1 Filed 12/21/11 Page 2 of 3 PageID: 1148

shall be required (the Receiver's Deed and any such other documents, collectively, the "Conveyance Documents") from IVL Group, LLC, Receiver, to Plaintiff or its nominee or assignee, free and clear, for the approved Credit Bid, said Receiver's Deed and any other conveyance documents being exempt from transfer tax pursuant to N.J.S.A. 46:15-10(g).

2. By consenting to the entry of this Order, Defendant has waived and relinquished any right to challenge the validity of the sale or otherwise to claim any equity of redemption in the Mortgaged Property.

BY THE COURT:

Faith S. Hochberg

Hon. Faith S. Hochberg, U.S.D.J.

Dated: 1-3-12

RTF-1 (Rev. 7/14/10)
MUST SUBMIT IN DUPLICATE

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER
(Chapter 49, P.L.1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)
BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY
}SS. County Municipal Code 0906
COUNTY Hudson
MUNICIPALITY OF PROPERTY LOCATION Jersey City

FOR RECORDER'S USE ONLY
Consideration $
RTF paid by seller $
Date 2/24/12 By
*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE *(Instructions #3 and #4 on reverse side)*

Deponent, Alyson H. Ricker (Name), being duly sworn according to law upon his/her oath, deposes and says that he/she is the Legal Representative (Grantor; Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.) in a deed dated January 11th transferring real property identified as Block number 7 Lot number A.01, A.01 Qual, and T01 located at One Exchange Place, Jersey City, New Jersey (Street Address, Town) and annexed thereto.

(2) CONSIDERATION $ 1.00 *(Instructions #1 and #5 on reverse side)* ☐ no prior mortgage to which property is subject.

(3) Property transferred is Class 4A 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) **REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:**
(Instructions #5A and #7 on reverse side)

Total Assessed Valuation ÷ Director's Ratio = Equalized Assessed Valuation

$ 5,600,000.00 ÷ 29.43 % = $ 190,282.02

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) FULL EXEMPTION FROM FEE *(Instruction #8 on reverse side)*
Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.
Consideration is less than $100

(5) PARTIAL EXEMPTION FROM FEE *(Instruction #9 on reverse side)*
NOTE: All boxes below apply to grantor(s) *only*. **ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED.** Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004, and C. 66, P.L. 2004 for the following reason(s):

A. **SENIOR CITIZEN** Grantor(s) ☐ 62 years of age or over.* *(Instruction #9 on reverse side for A or B)*
B. **BLIND PERSON** Grantor(s) ☐ legally blind or;*
DISABLED PERSON Grantor(s) ☐ permanently and totally disabled ☐ receiving disability payments ☐ not gainfully employed*

Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:
☐ Owned and occupied by grantor(s) at time of sale.
☐ One or two-family residential premises.
☐ Resident of State of New Jersey.
☐ Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY

C. **LOW AND MODERATE INCOME HOUSING** *(Instruction #9 on reverse side)*
☐ Affordable according to H.U.D. standards.
☐ Meets income requirements of region.
☐ Reserved for occupancy.
☐ Subject to resale controls.

(6) NEW CONSTRUCTION *(Instructions #2, #10, #12 on reverse side)*
☐ Entirely new improvement.
☐ Not previously used for any purpose.
☐ Not previously occupied.
☐ "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) RELATED LEGAL ENTITIES TO LEGAL ENTITIES *(Instructions #5, #12, #14 on reverse side)*
☐ No prior mortgage assumed or to which property is subject at time of sale.
☐ No contributions to capital by either grantor or grantee legal entity.
☐ No stock or money exchanged by or between grantor or grantee legal entities.

FILED
20120224010013110
02/24/2012 10:15:54 AM
DEED
NUMBER OF PAGES : 14
KSLOAN

(8) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this 13th day of February, 2012
Tamara L. McLendon

Signature of Deponent
1056 Westlakes Dr., 3rd Floor
Berwyn, PA
Deponent Address
20-5395452
XXX-XXX-
Last three digits in Grantor's Social Security Number

IVL Group, LLC
Grantor Name
900 Route 9 North, Suite 301, Woodbridge, NJ
Grantor Address at Time of Sale
Name/Company of Settlement Officer

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
TAMARA L. McLENDON, Notary Public
City of Philadelphia, Phila. County
My Commission Expires March 19, 2012

FOR OFFICIAL USE ONLY
Instrument Number County
Deed Number Book Page
Deed Dated 1/11/12 Date Recorded 2/23/12

County recording officers shall forward one copy of each RTF-1 form when Section 3A is completed to:
STATE OF NEW JERSEY
PO BOX 261
TRENTON, NJ 08695-0261
ATTENTION: REALTY TRANSFER FEE UNIT

The Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and it may not be altered or amended without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division's website at: www.state.nj.us/treasury/taxation/lpt/localtax.shtml.

Exhibit L

A COPY OF THIS DEED HAS BEEN SENT TO ASSESSOR'S OFFICE

Hudson County Recording Data Page
Jeffrey Dublin
Hudson County Register

Official Use Only - Barcode

20220318010031640 1/0
03/18/2022 02:36 PM DEED
Bk: 9650 Pg: 978
JEFFREY DUBLIN
Hudson County, Register of Deeds
Receipt No. 183340

Official Use Only - Realty Transfer Fee

20220318010031640
03/18/2022 02:36:08 pm
Consideration: $48000000.00
Exempt Code: Regular
County:$48000.00 State:$120000.00
NJAHTF:$71775.00 PHPF:$24000.00
EAA:$110000.00 General:$204500.00
Buyer's Fee: $480000.00
Total RTF: $578275.00

Date of Document: 2022-02-17	Type of Document: DEED (Select all Deed Doc Types)
First Party Name: 15 Exchange Place Corp;	Second Party Name: 15 Exchange Owner LP;
Additional Parties:	

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY

Block: 14502 ,7	Lot: 2 ,19
Municipality: Jersey City	
Consideration: 48000000.00	
Mailing Address of Grantee: 910 East County Line Road, Suite 202 Lakewood, NJ 08701	

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGING INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY

Original Book:	Original Page:

HUDSON COUNTY RECORDING DATA PAGE
Please do not detach this page from the original document as it contains important recording information and is part of the permanent record.

DISCLAIMER
A recording officer shall not be liable for differences between the cover sheet or the electronic synopsis and the document. If descrepencies are found, the entire document will be rejected.

A COPY OF THIS DEED HAS BEEN SENT TO ASSESSOR'S OFFICE

DEED

Record and return to:
15 Exchange Owner LP
910 East County Line Road
Suite 202
Lakewood, NJ 08701
Attention: David Elkouby

Prepared by:
Richard Milder
500 Plaza Drive
Sixth Floor
Secaucus, NJ 07094

This Deed is made effective the 17th day of February, 2022,

BETWEEN

15 EXCHANGE PLACE CORP., a New Jersey corporation, whose address is c/o Hartz Mountain Industries, Inc., 500 Plaza Drive, Sixth Floor, Secaucus, NJ 07094, Attention: Phillip R. Patton, referred to as the "**Grantor**",

AND

15 EXCHANGE OWNER LP, a Delaware limited partnership, whose address is 910 East County Line Road, Suite 202, Lakewood, NJ 08701, Attention: David Elkouby, referred to as the "**Grantee.**"

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to Grantee. This transfer is made for the sum of FORTY-EIGHT MILLION AND NO/100 DOLLARS ($48,000,000.00). The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) City of Jersey City
~~Block No. 7, Lot No. 19~~ **Lot 2, Block 14502 (f/k/a Lot 19, Block 7)**

Property. The Property consists of the land and all the buildings, structures and other improvements on the land in the Jersey City, in the County of Hudson and State of New Jersey, more particularly described on Schedule A and made a part hereof,

Being the same property conveyed to Grantor in that certain Deed from NOL PROPERTIES (USA) INC., a New Jersey corporation, dated October 31, 2003, and recorded in Deed Book 7161, Page 143,

Together with all and singular, the tenements, hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversions, remainders, rents, issues and profits thereof, but also, all of the estate, right, title, interest, property, claims and demand whatsoever, as well as in law as in equity, of Grantor, of, in, or to the above-described property, and every part and parcel thereof, with the appurtenances.

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property other than matters of record. This promise is called a "covenant as to grantor's acts"

(N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor) and are in effect as of the date hereof, other than matters of record.

[*SIGNATURE PAGE FOLLOWS*]

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

Witnessed by:

15 EXCHANGE PLACE CORP.,
a New Jersey corporation

By: _____
Name: Phillip R. Patton
Title: Executive Vice President

State of New Jersey)
) ss.:
County of Hudson)

On the 15th day of February in the year 2022 before me, the undersigned, personally appeared Phillip R. Patton, Executive Vice President of 15 Exchange Place Corp., a New Jersey corporation, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public

JANICE J. KEEFE
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Nov. 12, 2026

[Signature Page to Deed]

A COPY OF THIS DEED HAS BEEN SENT TO ASSESSOR'S OFFICE

SCHEDULE A

LEGAL DESCRIPTION

ALL THAT CERTAIN plot, piece or parcel of land, situate, lying and being in the City of Jersey City, County of Hudson and State of New Jersey. The legal description is:

BEGINNING at a point in the southerly line of Exchange Place, distant 80.46 feet easterly from the intersection formed by said southerly line of Exchange Place with the easterly line of Hudson Street; and running thence

1. Easterly and along said southerly line of Exchange Place, South 81 degrees 26 minutes 50 seconds East 245.71 feet to a point; thence

2. Southerly and parallel to said easterly line of Hudson Street, South 08 degrees 37 minutes 10 seconds West 163.34 feet to a point in the northerly line of York Street, if same were produced easterly; thence

3. Westerly, to and along said northerly line of York Street, North 81 degrees 19 minutes 50 seconds West 205.17 feet to a point; thence

4. Northerly and parallel to said easterly line of Hudson Street, North 08 degrees 37 minutes 10 seconds East, 82.92 feet to a point; thence

5. Westerly and parallel to said southerly line of Exchange Place, North 81 degrees 26 minutes 50 seconds West, 40.54 feet to a point; thence

6. Northerly and parallel to said easterly line of Hudson Street, North 08 degrees 37 minutes 10 seconds East, 80.00 feet to the point or place of BEGINNING.

Being further described as follows:

BEGINNING at a point in the southerly line of Exchange Place, distant 80.46 feet easterly from the intersection formed by said southerly line of Exchange Place with the easterly line of Hudson Street; and running thence

1. Easterly and along said southerly line of Exchange Place, South 81 degrees 54 minutes 01 second East 245.71 feet to a point; thence

2. Southerly and parallel to said easterly line of Hudson Street, South 08 degrees 09 minutes 59 seconds West 163.34 feet to a point in the northerly line of York Street, if same were produced easterly; thence

3. Westerly, to and along said northerly line of York Street, North 81 degrees 47 minutes 01 second West 205.17 feet to a point; thence

4. Northerly and parallel to said easterly line of Hudson Street, North 08 degrees 09 minutes 59 seconds East, 82.92 feet to a point; thence

5. Westerly and parallel to said southerly line of Exchange Place, North 81 degrees 54 minutes 01 second West, 40.54 feet to a point; thence

6. Northerly and parallel to said easterly line of Hudson Street, North 08 degrees 09 minutes 59 seconds East, 80.00 feet to the point or place of BEGINNING.

RTF-1 (Rev. 4/17)
MUST SUBMIT IN DUPLICATE

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER
(P.L.1968, c. 49, as amended through P.L. 2006, c. 33) (N.J.S.A. 46:15-5 et seq.)
BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY
}SS.
COUNTY Hudson County Municipal Code 0906

FOR RECORDER'S USE ONLY
Consideration $
RTF paid by seller $
Date By

*Use symbol "C" to indicate that fee is exclusively for county use.

MUNICIPALITY OF PROPERTY LOCATION Jersey City

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

Deponent, the undersigned (Name), being duly sworn according to law upon his/her oath, deposes and says that he/she is the Grantor (Grantor, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.) in a deed dated 2/17/22 transferring real property identified as Block number 14502 fka 7 Lot number 2 fka 19 located at 15 Exchange Place, Jersey City (Street Address, Town) and annexed thereto.

(2) CONSIDERATION $48,000,000 (Instructions #1 and #5 on reverse side) ☒ no prior mortgage to which property is subject.

(3) Property transferred is Class 4A 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:
(See Instructions #5A and #7 on reverse side)

Total Assessed Valuation ÷ Director's Ratio = Equalized Assessed Valuation

$33,000,000 ÷ 87.37 % = $37,770,401.74

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) FULL EXEMPTION FROM FEE (See Instruction #8 on reverse side)
Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by P.L. 1968, c. 49 as amended through P.L. 2004, c. 66 for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(5) PARTIAL EXEMPTION FROM FEE (Instruction #9 on reverse side)
NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by P.L. 1975, c. 176, P.L. 2004, c. 113 and P.L. 2004, c. 66 for the following reason(s):

A. SENIOR CITIZEN Grantor(s) ☐ 62 years of age or over.* (Instruction #9 on reverse side for A or B)
B. BLIND PERSON Grantor(s) ☐ legally blind or;*
DISABLED PERSON Grantor(s) ☐ permanently and totally disabled ☐ receiving disability payments ☐ not gainfully employed*

Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:
☐ Owned and occupied by grantor(s) at time of sale. ☐ Resident of State of New Jersey.
☐ One or two-family residential premises. ☐ Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY.

C. LOW AND MODERATE INCOME HOUSING (Instruction #9 on reverse side)
☐ Affordable according to H.U.D. standards. ☐ Reserved for occupancy.
☐ Meets income requirements of region. ☐ Subject to resale controls.

(6) NEW CONSTRUCTION (Instructions #2, #10 and #12 on reverse side)
☐ Entirely new improvement. ☐ Not previously occupied.
☐ Not previously used for any purpose. ☐ "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) RELATED LEGAL ENTITIES TO LEGAL ENTITIES (Instructions #5, #12, #14 on reverse side)
☐ No prior mortgage assumed or to which property is subject at time of sale.
☐ No contributions to capital by either grantor or grantee legal entity.
☐ No stock or money exchanged by or between grantor or grantee legal entities.

(8) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of P.L. 1968, c. 49 as amended through P.L. 2006, c. 33.

Subscribed and sworn to before me this 15th day of February, 2022

JANICE J. KEEFE
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Nov. 12, 2026

Signature of Deponent
in his capacity as Executive Vice President of Grantor
500 Plaza Drive, Sixth Floor, Secaucus, NJ 07094
Deponent Address

XXX-XX-X[redacted]
Last three digits in Grantor's Social Security Number

15 Exchange Place Corp.
Grantor Name
500 Plaza Drive, Sixth Floor, Secaucus, NJ 07094
Grantor Address at Time of Sale

Name/Company of Settlement Officer

FOR OFFICIAL USE ONLY
Instrument Number County
Deed Number Book Page
Deed Dated Date Recorded

County recording officers shall forward one copy of each RTF-1 form when Section 3A is completed to:
STATE OF NEW JERSEY
PO BOX 251
TRENTON, NJ 08695-0251
ATTENTION: REALTY TRANSFER FEE UNIT

The Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and may not be altered or amended without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division of Taxation website at: https://www.state.nj.us/treasury/taxation/lpt/localtax.shtml

GIT/REP-3
(2-21)
(Print or Type)

State of New Jersey
Seller's Residency Certification/Exemption

Seller's Information

Name(s): 15 Exchange Place Corp.

Current Street Address: 500 Plaza Drive, Sixth Floor

City, Town, Post Office: Secaucus | State: NJ | ZIP Code: 07094

Property Information

Block(s): 14502 fka 7 | Lot(s): 2 fka 19 | Qualifier:

Street Address: 15 Exchange Place

City, Town, Post Office: Jersey City, New Jersey | State: | ZIP Code:

Seller's Percentage of Ownership: 100 | Total Consideration: $48,000,000 | Owner's Share of Consideration: $48,000,000 | Closing Date: 2/17/22

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. ☐ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☒ Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. ☐ The total consideration for the property is $1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
   ☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and than sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. ☐ The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. ☐ The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

15 Exchange Place Corp., a New Jersey corporation

2/17/22 — Date | Signature (Seller) | Indicate if Power of Attorney or Attorney in Fact

By: Phillip R. Patton, Executive Vice President

Date | Signature (Seller) | Indicate if Power of Attorney or Attorney in Fact

FILED
20220318010031640
03/18/2022 02:36 PM
DEED
NUMBER OF PAGES : 8
RBROWN

RTF-1EE (Rev. 12/09)
MUST SUBMIT IN DUPLICATE

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY BUYER
(Chapter 49, P.L.1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM BEFORE COMPLETING THIS AFFIDAVIT

STATE OF NEW JERSEY
COUNTY Ocean } SS. County Municipal Code 0906
MUNICIPALITY OF PROPERTY LOCATION Jersey City

FOR RECORDER'S USE ONLY
Consideration $
RTF paid by buyer $
Date By

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side) XXX-XX-X [redacted]
Last three digits in grantee's Social Security Number

Deponent, Ephraim Steinberg (Name) being duly sworn according to law upon his/her oath, deposes and says that he/she is the Grantee (Grantee, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.) in a deed dated 2/17/22 transferring real property identified as Block number 14502 fka 7 Lot number ~~10~~ 2 fka 19 located at 15 Exchange, Jersey City, NJ (Street Address, Town) and annexed thereto.

(2) CONSIDERATION $48,000,000.00 (See Instructions #1, #5, and #11 on reverse side)

Entire consideration is in excess of $1,000,000:

PROPERTY CLASSIFICATION CHECKED OR CIRCLED BELOW IS TAKEN FROM OFFICIAL ASSESSMENT LIST (A PUBLIC RECORD) OF MUNICIPALITY WHERE THE REAL PROPERTY IS LOCATED IN THE YEAR OF TRANSFER. REFER TO N.J.A.C. 18:12-2.2 ET SEQ.

(A) Grantee required to remit the 1% fee, complete (A) by checking off appropriate box or boxes below.
- ☐ Class 2 - Residential
- ☐ Class 3A - Farm property (Regular) and any other real property transferred to same grantee in conjunction with transfer of Class 3A property
- ☒ Class 4A - Commercial properties (if checked, calculation in (E) required below)
- ☐ Cooperative unit (four families or less) (See C. 46:8D-3.) Cooperative units are Class 4C.

(B) Grantee is not required to remit 1% fee (one or more of following classes being conveyed), complete (B) by checking off appropriate box or boxes below.
- ☐ Property class. Circle applicable class or classes: 1 3B 4B 4C 15

Property classes: 1-Vacant Land;3B- Farm property (Qualified);4B- Industrial properties;4C- Apartments;15: Public Property, etc. (N.J.A.C. 18:12-2.2 et seq.)
- ☐ Exempt organization determined by federal Internal Revenue Service/Internal Revenue Code of 1986, 26 U.S.C. s. 501.
- ☐ Incidental to corporate merger or acquisition; equalized assessed valuation less than 20% of total value of all assets exchanged in merger or acquisition. If checked, calculation in (E) required and MUST ATTACH COMPLETED RTF-4.

(C) When grantee transfers properties involving block(s) and lot(s) of two or more classes in one deed, one or more subject to the 1% fee (A), with one or more than one not subject to the 1% fee (B), pursuant to N.J.S.A. 46:15-7.2, complete (C) by checking off appropriate box or boxes and (D).
- ☐ Property class. Circle applicable class or classes: 1 2 3B 4A 4B 4C 15

(D) EQUALIZED VALUE CALCULATION FOR ALL PROPERTIES CONVEYED, WHETHER THE 1% FEE APPLIES OR DOES NOT APPLY

	Total Assessed Valuation	+ Director's Ratio	= Equalized Valuation
Property Class ____	$	+ %	= $
Property Class ____	$	+ %	= $
Property Class ____	$	+ %	= $
Property Class ____	$	+ %	= $

(E) REQUIRED EQUALIZED VALUE CALCULATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS: (See Instructions #6 and #7 on reverse side)

Total Assessed Valuation ÷ Director's Ratio = Equalized Value
$ 37,623,800.00 ÷ 87.37 % = $ 43,062,607.30

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed valuation. If Director's Ratio is equal to or exceeds 100%, the assessed valuation will be equal to the equalized value.

(3) TOTAL EXEMPTION FROM FEE (See Instruction #8 on reverse side)
Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through Chapter 33, P.L. 2006, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(4) Deponent makes Affidavit of Consideration for Use by Buyer to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith pursuant to the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me this 16 day of February, 2022.

MENDY BRACHFELD
Notary PUBLIC OF NEW JERSEY
Comm. No. 50085587
My Commission Expires July 3, 2023

Signature of Deponent

910 E County Line Rd, Lakewood, NJ
Deponent Address

15 Exchange Owner LP
Grantee Name

910 E County Line Rd, Lakewood, NJ
Grantee Address at Time of Sale

Name/Company of Settlement Officer

County recording officers: forward one copy of each RTF-1EE to:

STATE OF NJ - DIVISION OF TAXATION
PO BOX 251
TRENTON, NJ 08695-0251
ATTENTION: REALTY TRANSFER FEE UNIT

FOR OFFICIAL USE ONLY
Instrument Number ____ County ____
Deed Number ____ Book ____ Page ____
Deed Dated ____ Date Recorded ____

The Director, Division of Taxation, Department of the Treasury has prescribed this form, as required by law. It may not be altered or amended without prior approval of the Director. For further information on the Realty Transfer Fee or to print a copy of this Affidavit or any other relevant forms, visit www.state.nj.us/treasury/taxation/rpt/localtax.shtml.

Exhibit M

Hudson

New designs for Exchange Place Plaza open up space around Katyn Memorial

Updated: Dec. 01, 2022, 7:14 p.m. | Published: Dec. 01, 2022, 5:05 p.m.

The new design change opens up the area around the Katyn monument and adds a second entry way on the street side. Courtesy of Exchange Place Alliance

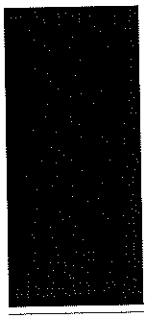
NEW!

By Joshua Rosario | The Jersey Journal

Though construction has been underway for months, plans for the Exchange Place pedestrian plaza are changing once again in an attempt to meet the Polish community's concerns over the Katyn Monument being hidden in previous designs.

The Exchange Place Alliance (EPA) posted changes to the plan, opening up the view around the Katyn monument, a 34-foot-tall statue depicting a bound-and-gagged soldier impaled in the back by a bayoneted rifle.

In a previous design, the monument was surrounded by benches, flowers, a few trees and grass with an opening to enter the monument on the waterfront end of the plaza. But now two small openings have been added from the street side of the monument and there is benched seating on both sides of the monument.



EPA Executive Director Elizabeth Cain said the special improvement district worked with The Committee for the Conservation of the Katyn Monument & Historic Objects and community members in the surrounding area "to make it a really welcoming community space that is going to be there for a long time."

"Really the last changes create kind of a lower entryway from the westside, with subtle entryways there for safety and just kind of flow of the space as it has been designed now," Cain said Thursday. "It should be the jewel of the waterfront so we really want to make it right."

Cain added that these were the only major changes made to the plans. After years of planning, discussion and controversy, she said the construction on the plaza will be finished in January.

Wojciech Stan Mazur, the vice president of business affairs for the Committee for the Conservation of the Katyn Monument & Historic Objects, could not be reached for comment.

The new plaza will still be closed to vehicles by retractable security bollards, but with an access road to the Hyatt House. It also still closes off a small portion of Christopher Columbus Drive at Hudson Street, only allowing vehicles to enter the Hyatt Regency next door.

Seating and tables outside will be available along the entrance of the plaza. The $5.5 million renovation to the plaza will also include a playground.

"We think it is a nice flow," Cain said. "It makes a really beautiful space. The landscaping is really going to add to the area and make it really pretty and beautiful and really welcoming for everyone. I am very excited it is happening."

Several national Polish groups including the Polish American Congress and The Kosciusko Foundation in New York opposed the previous design as it would block the view of the statue and lessens its impact. In August, the Polish American Congress in a letter said, "Even though the memorial will still be at the plaza, it will not have the same prominence and impact as it once did" and "the plans will hide the memorial."

A spokesman for the Polish American Congress could not be reached for comment.

Marek Skulimowski, the president & executive director of the Kosciuszko Foundation, said the new design does not reflect what the Polish community requested in both informal meetings and in statements to the Jersey City Council.

"The EPA-SID has not considered these requests in any fashion or form," Skulimowski said. "The area around the Memorial is used for commemorations, thus an appropriate entrance from Montgomery Street, with the iconic view of Manhattan is necessary."

Back in April, the Jersey City Planning Board initially agreed with the Polish community, but two weeks later, the board approved the designs, saying it fits in with Jersey City's master plan. The planning board chairman said the issue around the benches was outside the scope of the board.

The Katyn Monument commemorates the massacre of more than 20,000 Polish soldiers on the orders of Stalin after the Soviet Union invaded Poland in 1940. The statue was built-in 1986 by the Polish artist Andrzej Pytinski, the memorial has stood at Exchange Place since 1991.

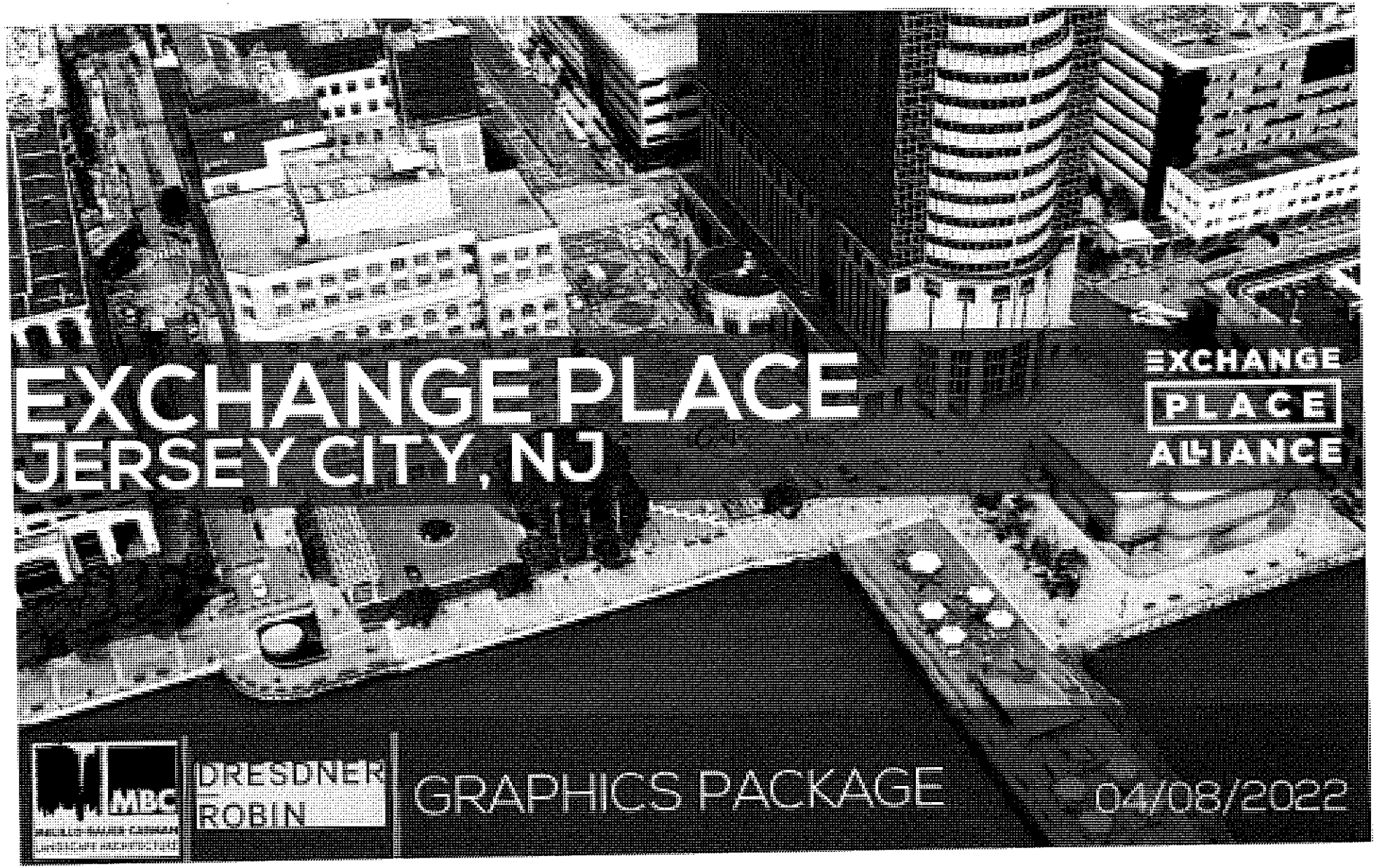
A lawsuit, filed in June, brought against the Exchange Place Alliance and the Jersey City Planning Board by Jeanne Daly, a Jersey City resident, and the Polish American Strategic Initiative (PASI) will go to trial before Hudson County Superior Court Judge Martha Lynes on April 28.

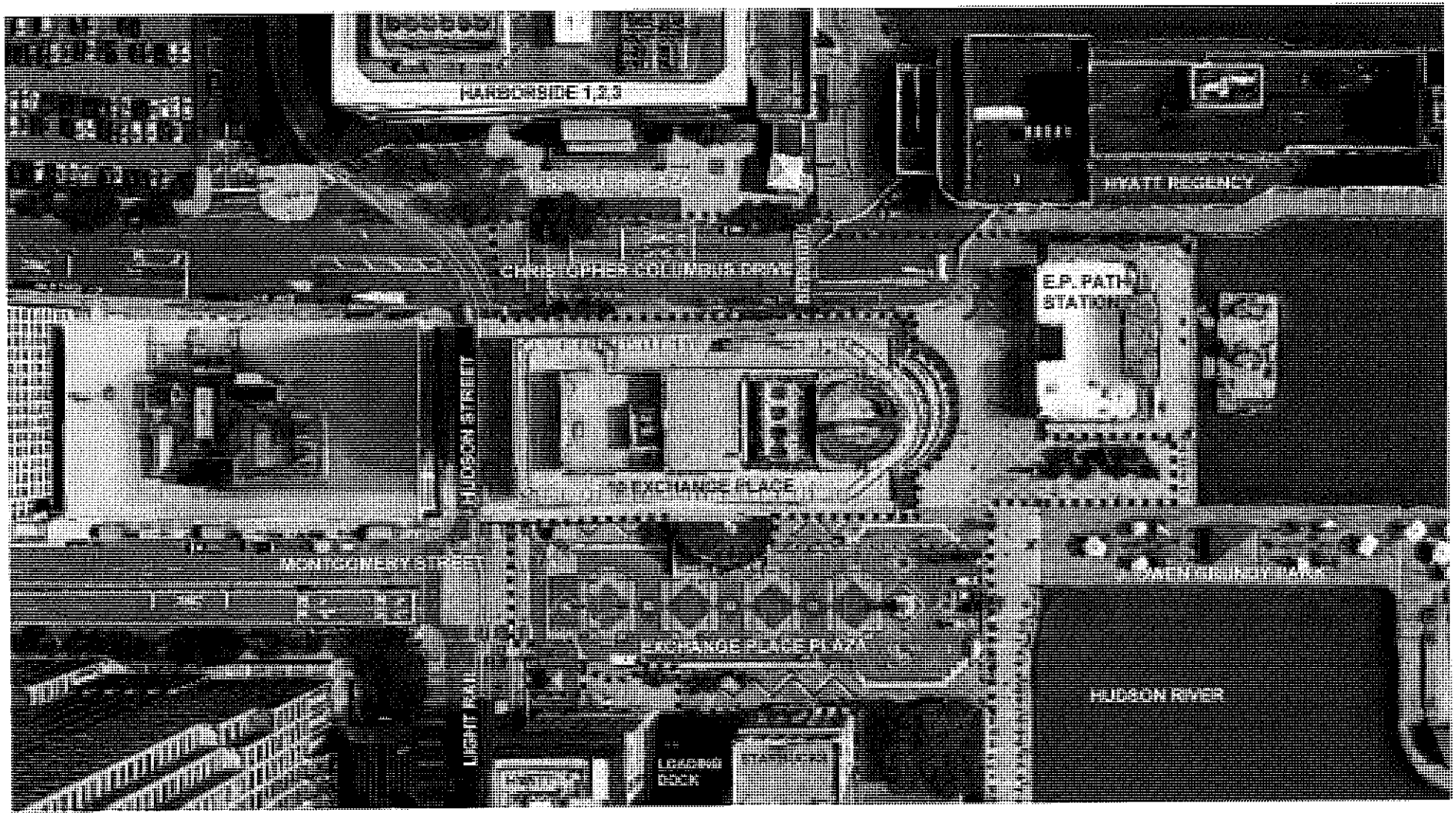
A spokesperson for PASI could not be reached for comment.

A nine-month-long battle erupted in 2018 when Mayor Steve Fulop proposed moving the statue to facilitate renovating the waterfront area; a flashpoint with the local and international Polish community ensued, including a petition with over 7,000 signatures demanding the statue stay where it is, multiple marathon-length city council meetings to discuss the issue, and an unsuccessful compromise proposal from Fulop to move the statue a shorter distance.

"The redevelopment plan for Exchange Place is transformative and visionary for redefining open space for use and appreciation by all," Fulup said yesterday. "The plans are truly inspiring, and go a long way in reinvigorating the area."

Exhibit N





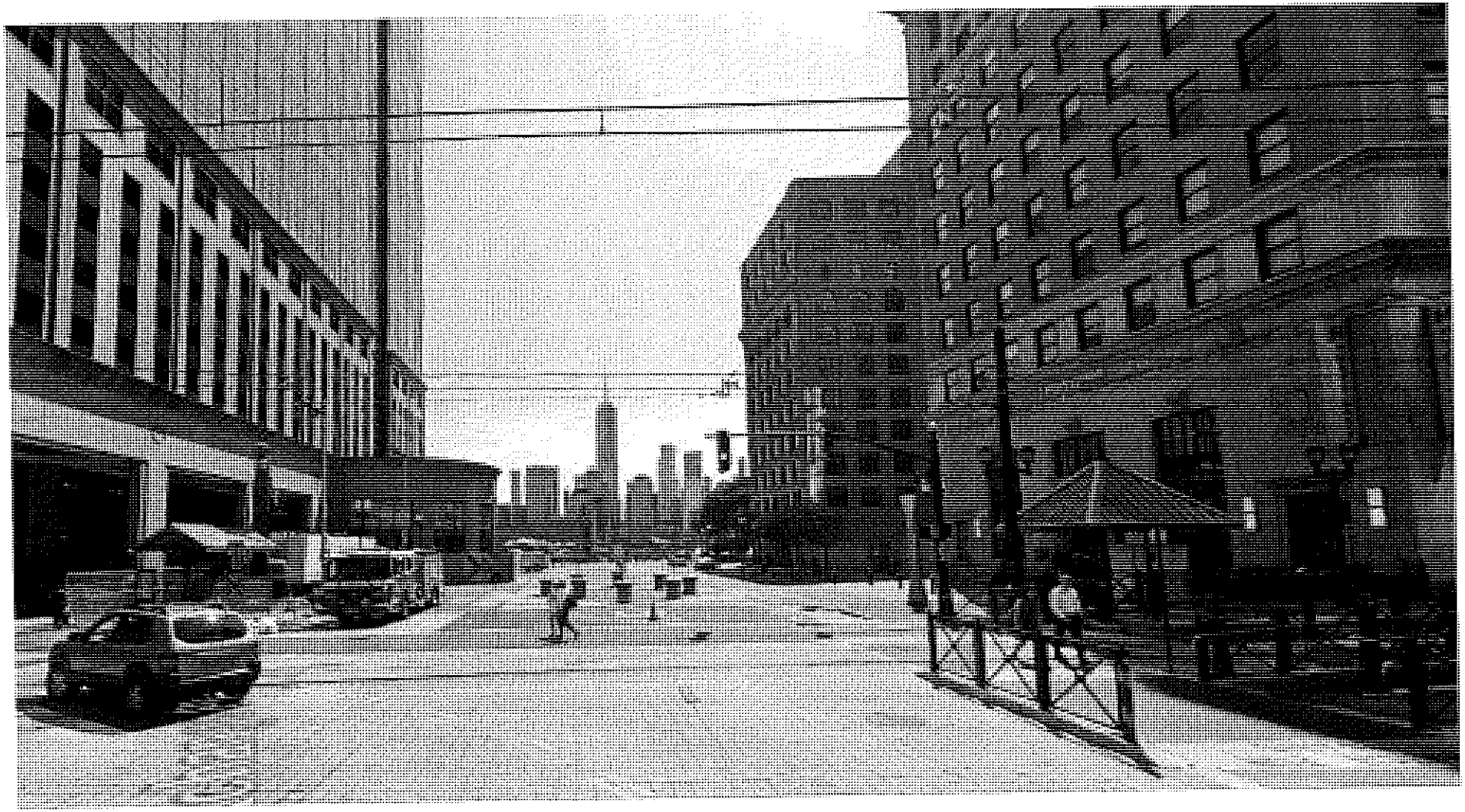
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

AERIAL VIEW OF EXISTING PLAZA

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

ENTRANCE LOOKING EAST - EXISTING CONDITION

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

MONUMENT PLAZA - LOOKING WEST - EXISTING CONDITION

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

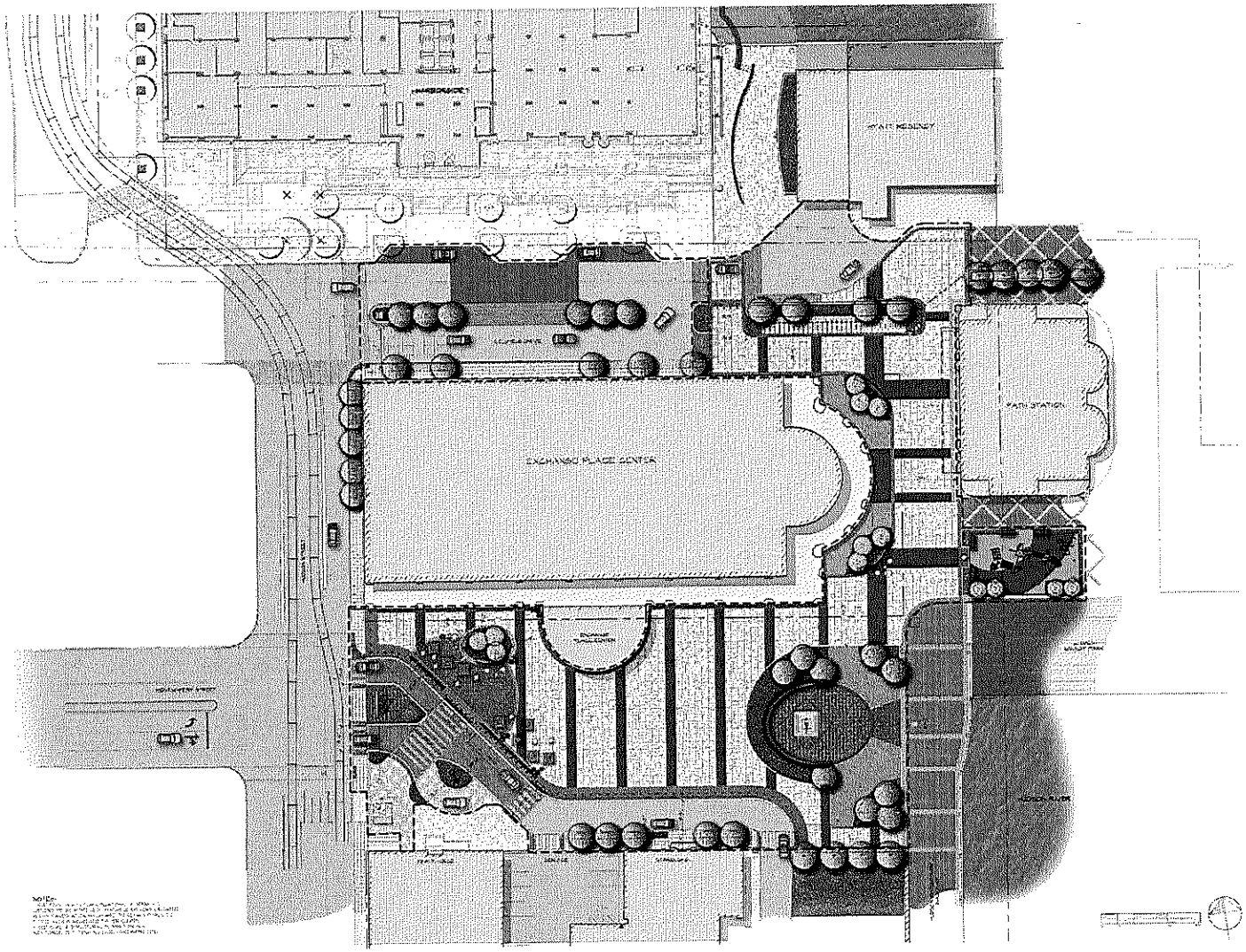
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

PLAZA AT PATH PLAZA STATION LOOKING TOWARD HARBORSIDE 1,2,3 – EXISTING CONDITION

EXCHANGE PLACE

JERSEY CITY, NJ

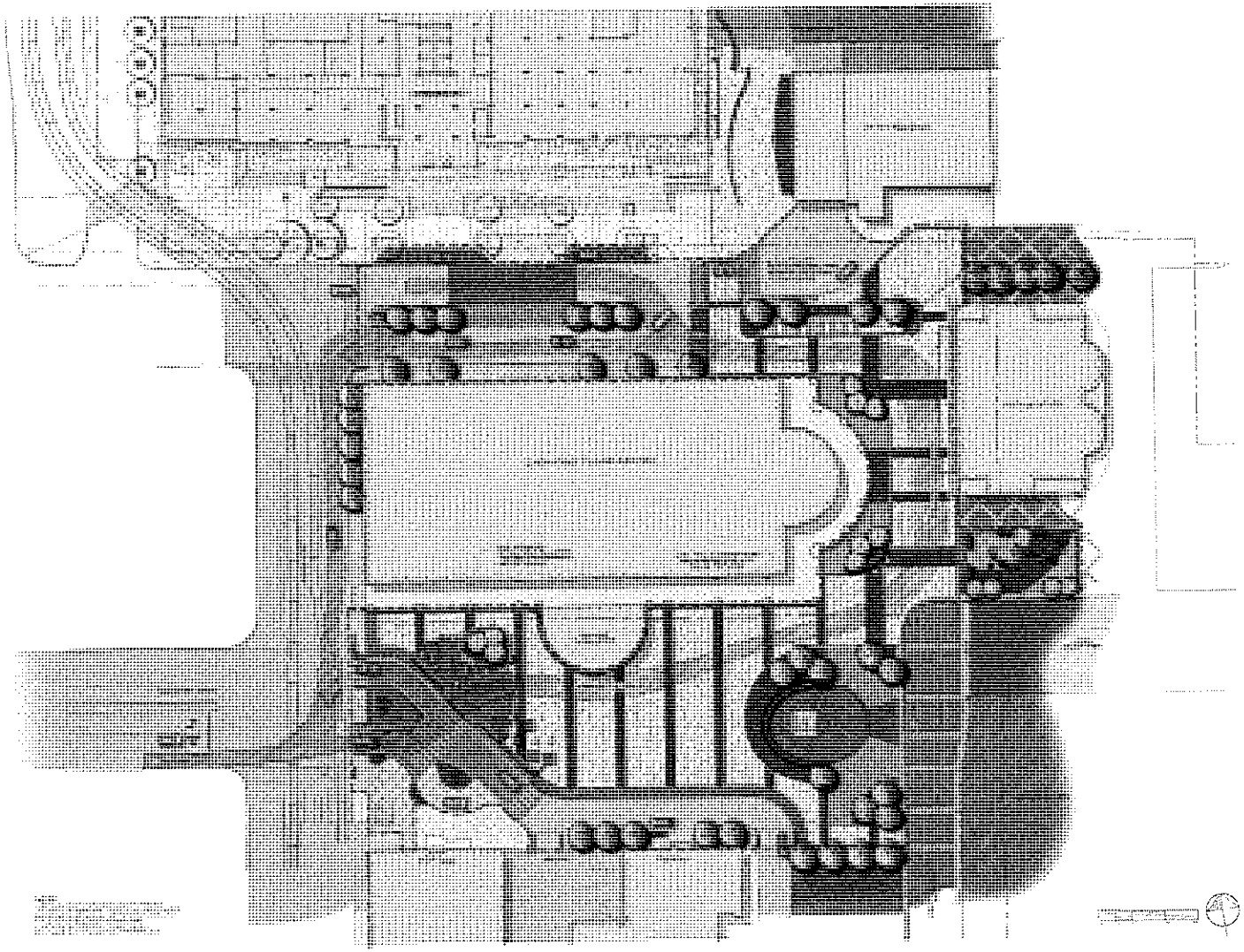
DATE: 2022.04.08



MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

ILLUSTRATIVE LANDSCAPE PLAN
EXCHANGE PLACE
JERSEY CITY, NJ

DATE: 2022.04.08



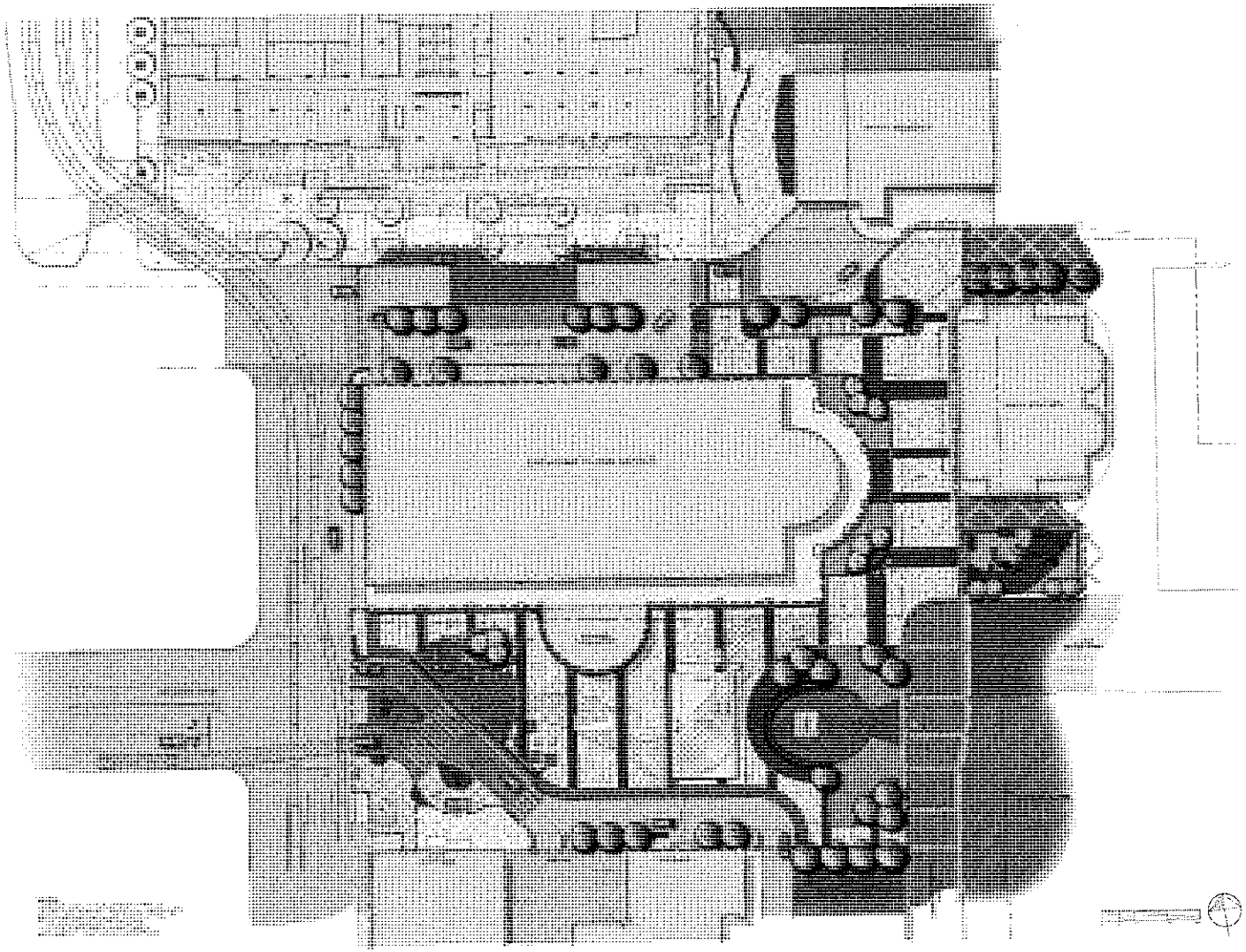
MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

ILLUSTRATIVE LANDSCAPE PLAN - EMERGENCY VEHICLE ACCESS

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



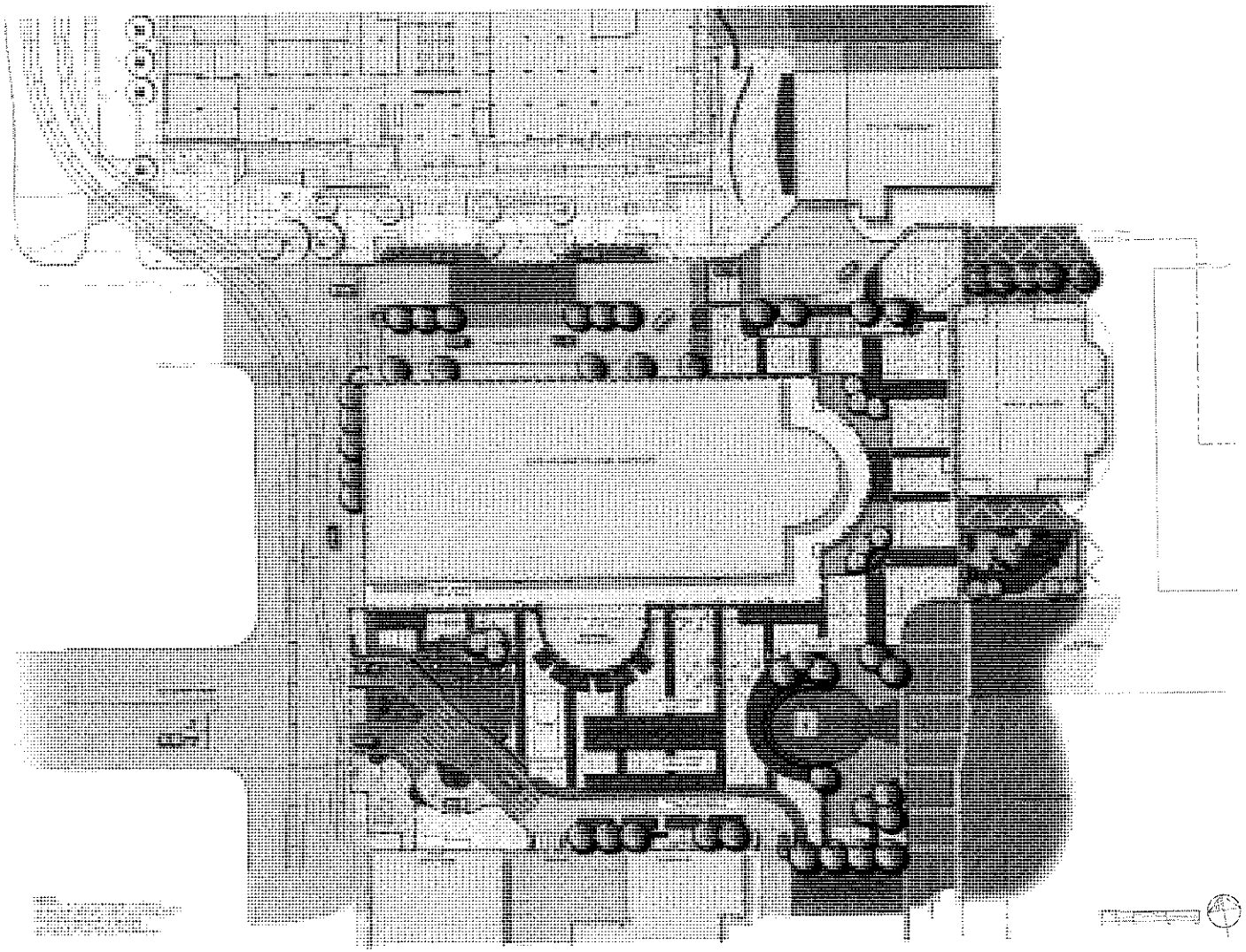
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

ILLUSTRATIVE LANDSCAPE PLAN - EVENT LAYOUT - CONCERT STAGE

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



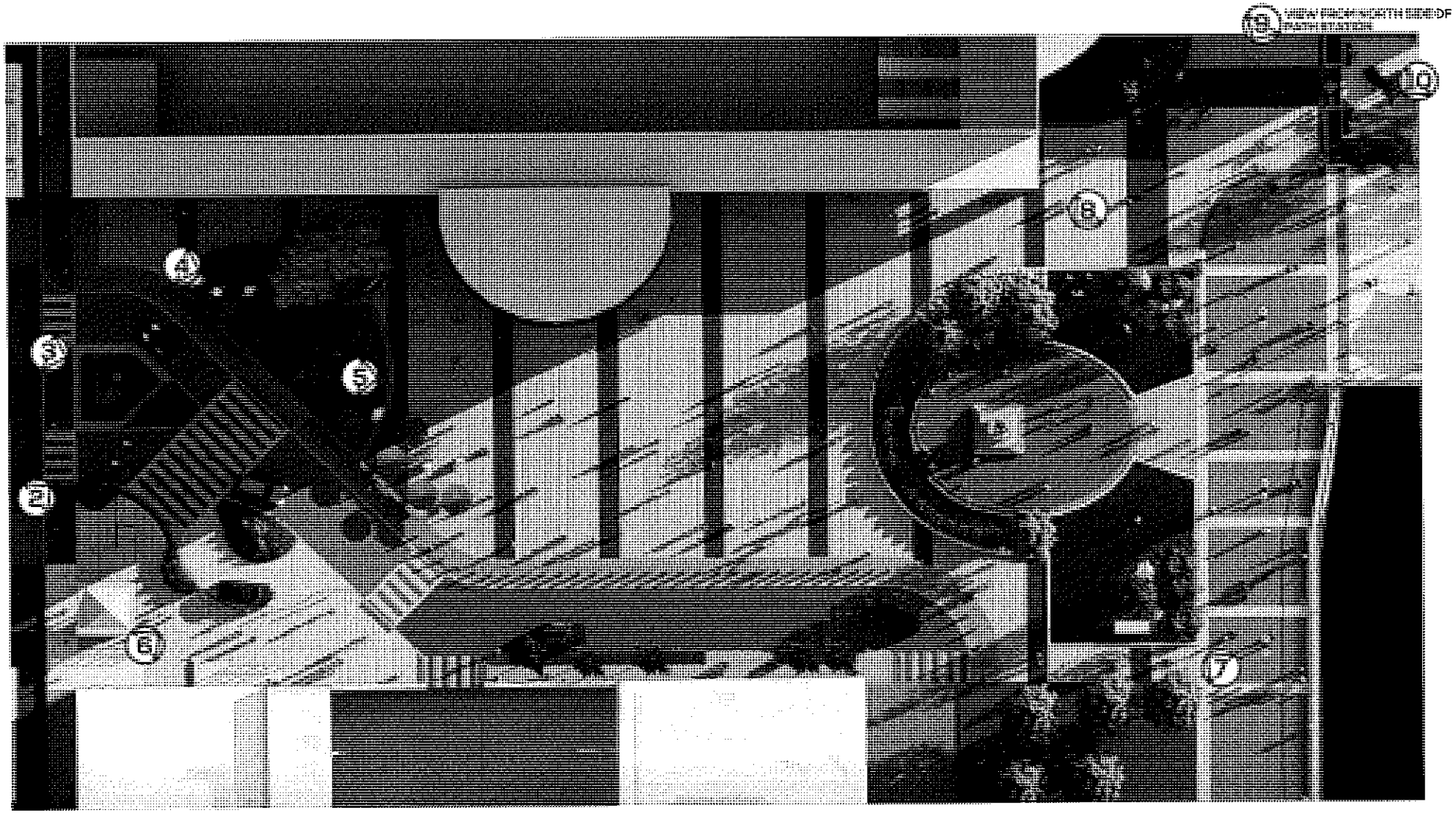
MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

ILLUSTRATIVE LANDSCAPE PLAN - EVENT LAYOUT - FESTIVAL / MARKET

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



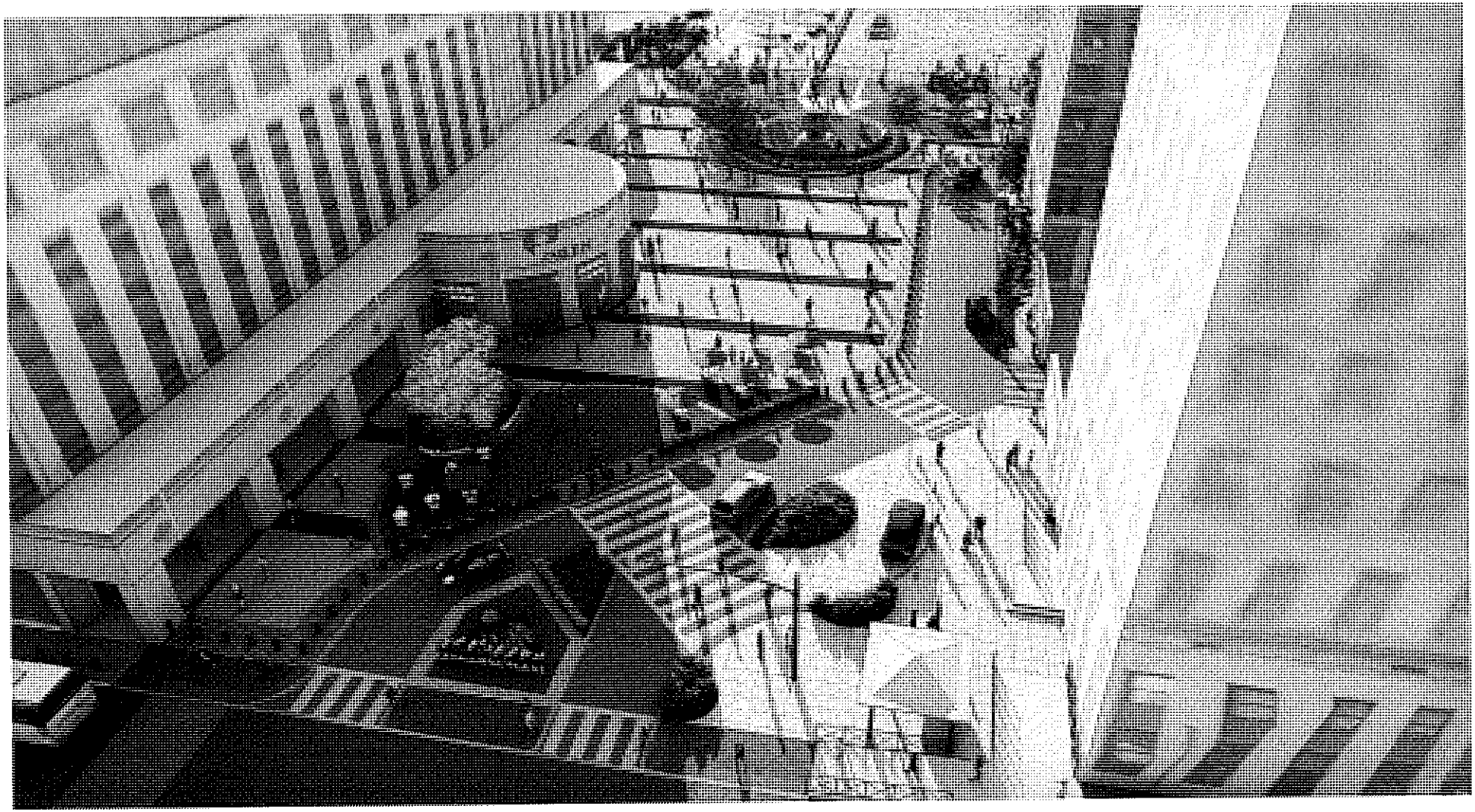
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #1: PLAN

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #2: OVERVIEW LOOKING EAST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

VIEW #3: ENTRANCE LOOKING EAST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #4: CAFE PLAZA LOOKING EAST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #5: MAIN PLAZA & STATUE FROM CAFE PLAZA - LOOKING EAST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

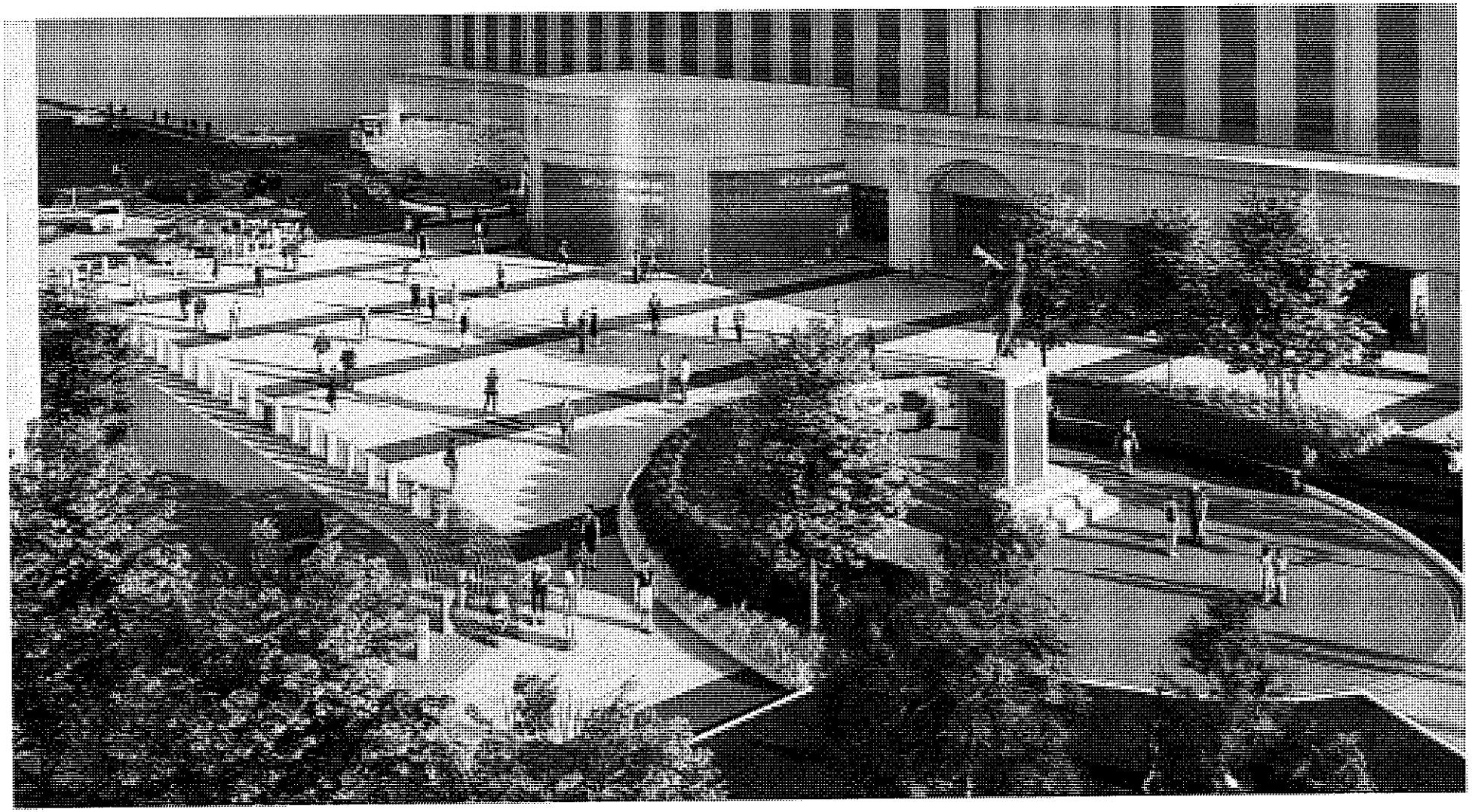
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #6: VIEW NORTHEAST OF PLAZA FROM HYATT HOUSE ENTRY PLAZA

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

VIEW #7: OVERVIEW LOOKING WEST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

MELILLO-BAUER-CARMAN
LANDSCAPE ARCHITECTURE

VIEW #8: VIEW THROUGH MAIN PLAZA LOOKING WEST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

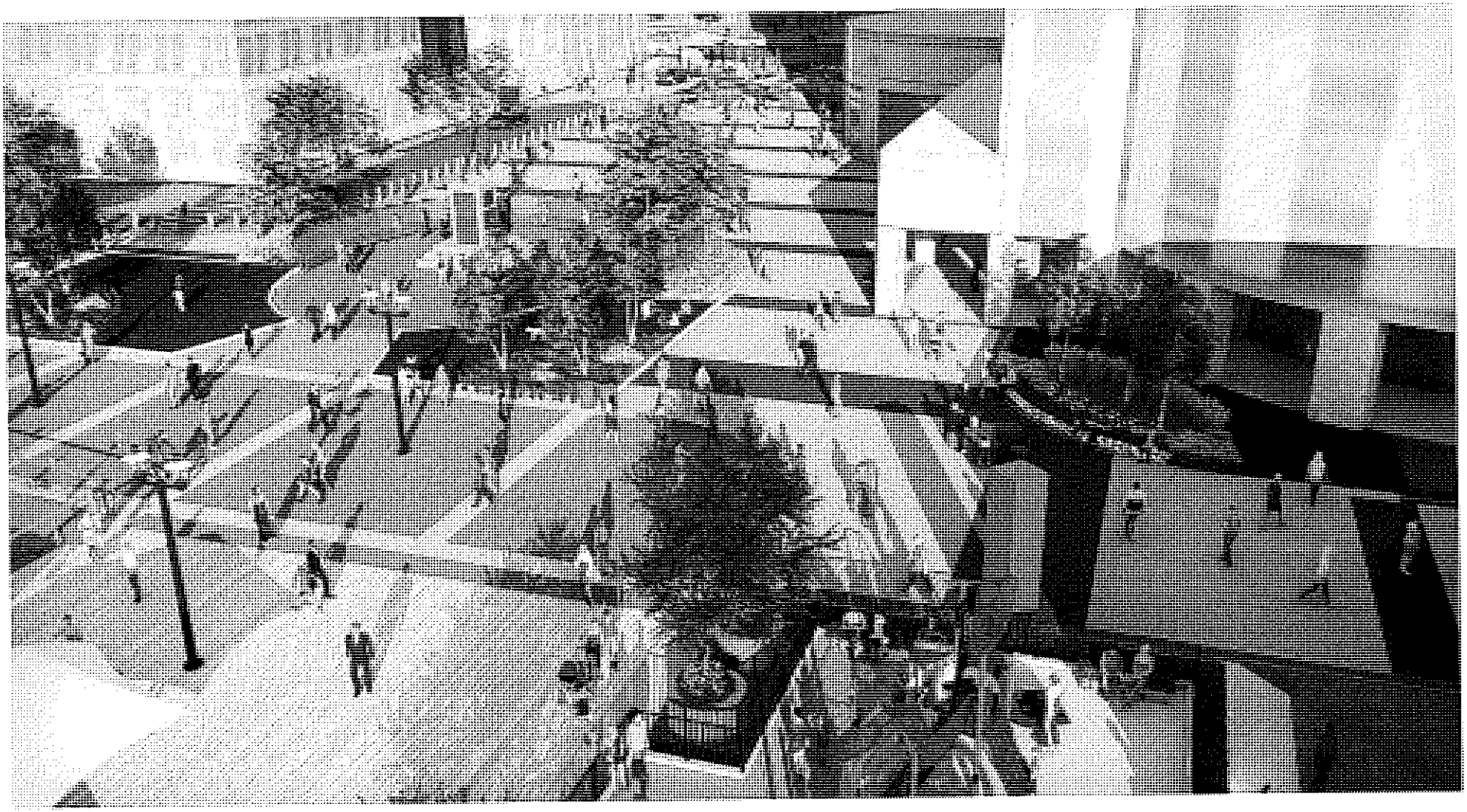
MBC
MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #9 : LOOKING SOUTH FROM PATH STATION

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08



MELILLO·BAUER·CARMAN
LANDSCAPE ARCHITECTURE

VIEW #10: OVERVIEW FROM PLAYGROUND LOOKING WEST

EXCHANGE PLACE

JERSEY CITY, NJ

DATE: 2022.04.08

Exhibit O

CITY OF JERSEY CITY
PLANNING BOARD

In the Matter of: :
: Transcript
CASE P21-142 :
: of
SECTION 31 REVIEW OF PUBLIC PLAZA:
DESIGN FOR UPDATES TO THE : Proceedings
EXCHANGE PLACE PEDESTRIAN PLAZA :
----------x

Tuesday, April 26, 2022
Zoom Remote Videoconference
Commencing at 6:47 p.m.

BOARD MEMBERS PRESENT:
CHRISTOPHER LANGSTON, Chairman
DR. ORLANDO V. GONZALEZ, Vice Chairman
JOYCE WATTERMAN, Council President (recused)
EDWARDO TORRES, Commissioner
GEOFFREY ALLEN, Commissioner
VIDYA GANGADIN, Commissioner
PETER HORTON, Commissioner
DR. VIJAY DESAI, Commissioner
DARLENE GREEN, Commissioner

APPEARANCES:
SANTO T. ALAMPI, ESQUIRE
Attorney for the Board

SCARINCI HOLLENBECK
BY: DONALD M. PEPE, ESQUIRE
Attorneys for the Applicant

MICHAEL LOMBARDOZZI,
Certified Shorthand Reporter

PRECISION REPORTING SERVICE
CERTIFIED SHORTHAND REPORTERS
(908) 642-4299

ALSO PRESENT:
TANYA MARIONE, A.I.C.P., P.P.
Director of Planning
City Planning Division
MATT WARD, A.I.C.P., P.P.
Supervising Planner
City Planning Division
CAMERON BLACK, A.I.C.P., P.P.
Senior Planner
City Planning Division
MALLORY CLARK, A.I.C.P., P.P.
Senior Planner
City Planning Division
TIMOTHY KREHEL, A.I.C.P., P.P.
Principal Planner
City Planning Division
FRANCISCO ESPINOZA
Senior Planner
City Planning Division
LINDSEY SIGMUND, A.I.C.P., P.P.
Environmental Planner
City Planning Division
ELIZABETH OPPER, A.I.C.P.
Urban Designer
City Planning Division

TABLE OF CONTENTS

CHAIRMAN LANGSTON: Let's move on to new business. Item 9 is case P21-142. That's a Section 31 review. It's a review and discussion of the public plaza design for updates to the Exchange Place Pedestrian Plaza at Hudson Street and Montgomery Street, wrapping north to Christopher Columbus Drive.

And, Santo, if you could, can you just educate the board on a Section 31 review; actually, what the board's role is here?

MR. ALAMPI: Certainly, Chairman.

CHAIRMAN LANGSTON: Thank you.

MR. ALAMPI: The Section 31 review, as we've heard in the past, is a courtesy review by the board. So the board is looking to see if the application is in conformance with and, for lack of a better term, jives with the zoning ordinances, the site plan ordinance, et cetera, et cetera. So if the board finds that it does not, and there are issues with the application as presented, that the board would like to see some things done differently, the board can find that, and find that it does not meet and comport with the applicable ordinances in regards mostly to site plan type issues.

But it is a courtesy review; the applicant is free to consider those comments, and

1 proceed in the way the applicant feels appropriately.
2 CHAIRMAN LANGSTON: Okay. Thanks,
3 Counsel.
4 So at the end of the presentation, what
5 our vote basically entails is, just like Santo said,
6 we are either agreeing or disagreeing that it
7 complies with the zoning. The applicant is under
8 no -- I don't know the words I'm looking for here.
9 MR. ALAMPI: Obligation, Chairman.
10 CHAIRMAN LANGSTON: Obligation, there
11 you go. So the applicant is under no obligation to
12 take those comments and change their application.
13 Our vote tonight is not binding, but we certainly
14 have the ability to comment and make recommendations.
15 Okay. Who is presenting for us here?
16 MR. PEPE: So, good evening, Chairman
17 Langston, commissioners, Donald Pepe from Scarinci
18 Hollenbeck on behalf of the Exchange Place Alliance
19 District Management Corporation, who's the applicant
20 on this project.
21 CHAIRMAN LANGSTON: Good evening,
22 Counsel.
23 MR. PEPE: As noted, we're proposing a
24 pedestrian plaza at the base of Montgomery Street.
25 And this is a Section 31 review.

1 Just bringing it back a little bit on
2 the history of this particular site, three years ago,
3 when we began this process, three and change years
4 ago, the area surrounding the Katyn Monument was
5 essentially a parking lot. One of the other
6 triggers -- and aside from being a parking lot, it
7 was a dangerous place, where cars were interacting
8 with pedestrians on a regular basis. It's a very
9 busy area. It's an entre to the PATH station.
10 Another trigger that brought up the
11 desire to improve this area had to do with the Port
12 Authority. They had gotten some grant money, and,
13 you know, they were looking to provide enhanced
14 security measures to protect the PATH station. But
15 much as the Port Authority would like to do, those
16 measures were somewhat institutional, looked a little
17 bit like a prison, some of the earlier designs, and
18 they didn't take aesthetics, they didn't take
19 pedestrian maneuverability, into account.
20 So when we saw those plans, those early
21 plans, for the Port Authority, the Exchange Place
22 Alliance took it upon itself to endeavor to find a
23 better way to provide both security, to preserve,
24 protect, and beautify the Katyn Monument, to preserve
25 the Exchange Place as a place that can be used for

1 public meetings and festivals indefinitely, and to
2 enhance the aesthetics and the safety of the plaza.
3 The enabling ordinance for the Exchange
4 Place Alliance specifically provides that we are to
5 undertake improvements designed to increase the
6 safety or attractiveness of the district. And that's
7 the enabling Ordinance 16-176 that created the
8 Exchange Place Alliance.
9 Most recently, the city council of
10 Jersey City designated this area a pedestrian mall,
11 which means that motor vehicle traffic was
12 prohibited. That was Ordinance 16-176.
13 We've undertaken -- or as I mentioned
14 over the last three years, to design a project that
15 achieves all of the goals that we set out to achieve.
16 We've engaged with all of the neighboring property
17 owners, stakeholders, the various city and state
18 offices, and the general public, to develop a final
19 design, which we're pleased to present you -- we're
20 actually super excited to present to you tonight.
21 We had five public meetings dedicated,
22 in part, to the public plaza design. Those were the
23 monthly or, excuse me, quarterly Exchange Place
24 meetings. The plans have been up on our website for
25 the better part of a year and a half.

1 We had a community meeting that was
2 published in the newspaper and provided mail notice
3 to adjoining property owners; that was on August
4 19th, 2020.
5 We had individual meetings with
6 Mack-Cali and the owners of Plaza X and the Hyatt
7 House Hotel to address their concerns.
8 We had multiple, multiple design
9 meetings with New Jersey Transit, Port Authority,
10 city planning, city fire, public safety, cultural
11 affairs, city engineering, Historic Paulus Hook
12 Association, Powerhouse Neighborhood Association,
13 Colgate Commercial Property Owners Association, and
14 the Committee for the Conservation of the Katyn
15 Monument and Historic Objects.
16 I have two witnesses tonight, although I
17 think that I'll only need to present one, Tom Carman,
18 from Melillo & Bauer, who is our landscape architect,
19 who took the lion's share of the aesthetic design of
20 the project.
21 Tom?
22 THOMAS CARMAN, having been
23 duly sworn, testified as follows:
24 MR. CARMAN: Thomas S. Carman,
25 C-A-R-M-A-N.

1 CHAIRMAN LANGSTON: And just one second,
2 before I can qualify Mr. Carman, Council President
3 Watterman is going to recuse on this matter.
4 So with that said, Mr. Carman, your
5 license is current tonight in the state of New
6 Jersey?
7 MR. CARMAN: It is.
8 CHAIRMAN LANGSTON: Okay. Thank you.
9 You're qualified.
10 MR. CARMAN: Thank you, Mr. Chairman,
11 and good evening, board commissioners.
12 A. So, this evening, I will walk you
13 through -- let me share my screen here -- I will
14 walk you through the design to transpose the
15 current plaza space, and as Mr. Pepe says, is a bit
16 more -- provides more priority to the vehicle than
17 to the pedestrian, with the goal to provide
18 pedestrian safety, flexibility for events, and to
19 respect the existing Katyn Monument. I'll present
20 an overall plan, and then I will also share some
21 3-D images of the design.
22 But before that, let me just show you
23 an existing aerial photograph of the plaza. So
24 we're seeing the plaza down in the lower portion,
25 Hyatt House right down here, adjacent to the light

1 rail, Starbucks, waterfront walkway, the existing
2 PATH station, and then, to the north, Christopher
3 Columbus Drive.
4 MS. CLARK: Mr. Carman, really quick, I
5 am just seeing the date on the document here, so I
6 believe there might be some additional renderings in
7 this package than what was provided for the data
8 portal, for the distribution deadline. So I just
9 want to make sure we mark this presentation into the
10 record. Can you tell me how many pages in total? It
11 looks like 21 at the bottom.
12 MR. CARMAN: That's correct, there are
13 21 sheets.
14 MS. CLARK: Okay.
15 MR. CARMAN: And I believe the only --
16 the only difference is, as we go through here, you'll
17 see that I refer back to the plan numerous times, to
18 show where that view is. I believe that's what the
19 difference in the amount of exhibits are.
20 MS. CLARK: Okay. And so, Santo, I
21 believe that would make this A-1?
22 MR. ALAMPI: Yes, it would.
23 MR. PEPE: And, Santo, just also for the
24 record, I mean, we did provide notice of this
25 application, even though I don't believe it was

1 necessary, again, out of an abundance of caution. So
2 if we could mark that notice as A-2.
3 MR. ALAMPI: Let's do it.
4 (Whereupon, Exhibits A-1 and A-2 marked
5 for identification.)
6 MR. ALAMPI: A-2 will be the notice; A-1
7 will be the plan -- or slide show.
8 A. So, now, I will move on to three
9 existing condition images. So this is standing at
10 Hudson, looking back towards the east. We see the
11 light rail off to the right, and then the Katyn
12 Monument down towards the terminus.
13 And, here, what we're seeing, also, is
14 the ability for vehicles to freely drive within the
15 space, circulate around; not really defining
16 pedestrian circulation, which can create plenty of
17 pedestrian conflicts.
18 Here, a view looking to the west.
19 We're essentially at the waterfront walkway,
20 looking back towards the monument, looking towards
21 the west. And, here, we're seeing the
22 inappropriate nature of vehicles being able to
23 circulate around the monument, or parking right at
24 the waterfront walkway.
25 Last existing conditions photo, as

1 we're looking towards Christopher Columbus Drive,
2 where the waterfront walkway makes its way past
3 Harborside and the Hyatt Regency here. And, again,
4 we're seeing how cars can stack and park down in
5 this area, and, really, pedestrian circulation is a
6 leftover for the cars.
7 So, now, we have the -- the overall
8 design that we're proposing. So with Hudson all
9 the way on the left-hand side, Grundy Pier on the
10 right with the PATH station, we see, in the lower
11 left-hand corner, the light rail to remain as is;
12 the drop-off area for the Hyatt House. And then,
13 controlling the vehicular circulation coming in,
14 what we're doing is we're still respecting that
15 boulevard nature that comes down along Montgomery,
16 and providing a clear access point in to circulate
17 to the Hyatt House, as well as a channelized
18 vehicular area to get to the service area and to
19 the court to the east. Access coming out,
20 providing direct access to the -- again, to
21 Montgomery.
22 Now, overall plaza space, we're
23 defining a zone to the west over here. We're
24 providing great flexibility for a stage to be put
25 over there for open nature, for tents to be put up

1 for flexibility, having the ability to put some
2 tables and chairs to gather within these areas, but
3 also providing good, clear pedestrian circulation
4 to the PATH station, from the PATH station to the
5 light rail, and around.
6 As Mr. Pepe indicated, one of the
7 requirements from the Port Authority is to secure
8 the PATH station, and by implementing some bollards
9 and some planters along the southern edge here, we
10 have this large, free expanse of public plaza
11 space. Additionally, incorporating some green,
12 where the existing Katyn Monument is, and defining
13 a plaza space with a larger oval of decorative
14 pavers. That opens up to the existing waterfront
15 walkway. The monument space itself includes a
16 large curvilinear seat wall that also defines the
17 space. The statue itself is situated in the exact
18 same location as it is today.
19 The child's play area is located just
20 to the south of the PATH station. The waterfront
21 walkway is in compliance with the DEP requirements,
22 in terms of the widths and circulation. CitiBikes
23 located just adjacent to the north side of Exchange
24 Place center here. And then, defining a crossing
25 for the pedestrians along the waterfront walkway.

1 Now, these plans were all submitted to
2 city engineering, and what we've done is we've
3 provided a graphic right here that shows the
4 emergency vehicle access. So fire truck or EMS
5 vehicles would be able to circulate in through this
6 space. There are bollards that would retract down,
7 and then can circulate around in front of the PATH
8 station, and then further back out to Christopher
9 Columbus Drive.
10 Now, in conversations with city
11 engineering and the fire department, they had
12 requested that we analyze the opportunity, as this
13 dashed line in the upper left -- or upper right
14 shows, to study if we can provide access as an
15 alternate out that way, which we believe we will be
16 able to accommodate, and we will be happy to work
17 with them on that.
18 So, now, let me walk you through some
19 of the 3-D views of the overall core space. So
20 I'll just continue to repeat this plan, and then
21 show where the view is taken.
22 So you will see a view over here from,
23 essentially, the light rail area, looking towards
24 the northwest. Here, we see that light rail in the
25 lower right, with clear pedestrian circulation

1 going across to a plaza space where table and
2 chairs are located. Bollard line with planters
3 defining an edge. And then, larger pedestrian
4 plaza for people to freely move about. And then,
5 the plaza space with the Katyn Monument.
6 The next view that we will have is
7 more -- just up from the previous one, and this
8 will be a little bit more eye level, as opposed to
9 bird's-eye view. Here, we're looking across again.
10 We're seeing that pedestrian accessway. This is
11 where those retractable bollards would be for an
12 emergency service vehicle to pull in. And you can
13 see how the site furnishing is also situated, so
14 that there would be clear access coming in. And
15 then, towards the end, you can see, prominently,
16 the monument in its existing location.
17 Our next view is essentially at the
18 Hyatt House drop-off area. Here, seeing a
19 bollard-defined area for a drop-off, and then
20 looking across to where you see the two pedestrian
21 circulation points cross the vehicular channelized
22 way, that is 18 feet wide, so we've really narrowed
23 that down. And then, again, in the background,
24 we're seeing the monument, as well as you're
25 catching a glimpse of the Grundy Pier in the

1 background.
2 Next view will be from, essentially,
3 the waterfront walkway, looking back towards the
4 northeast -- northwest. Here, we see how the oval
5 plaza space around the monument exists, and the
6 seat wall that I mentioned, the curved bench that
7 provides ample seating, and then, also, how the
8 planting extends towards the waterfront walkway.
9 So we've used -- and we've incorporated some lawn
10 within this area, also, to really expand that area,
11 so, that way, there's plenty of room for visitors,
12 as well as bringing that space so it does feel
13 intimate when there are -- is a smaller amount of
14 people.
15 The next view that I will show you is
16 essentially from the -- just below the PATH
17 station, where we'll see the playground in the
18 foreground. Here we are looking out that way, with
19 the children's playground in the foreground,
20 looking across to the plaza space, the monument,
21 and then out down towards the light rail in the
22 background.
23 The last view that I have is just
24 at -- again, at Hudson with our back to Montgomery,
25 looking in, with a place-making element over here,

1 just identifying Exchange Place, and then the
2 seating that we see flanking the bollard location
3 coming in, and then the monument prominently
4 located towards the waterfront.
5 So that provides the overview of the
6 exciting improvements that we're proposing at
7 Exchange Place.
8 Q. Thank you, Tom. Thank you very much.
9 CHAIRMAN LANGSTON: All right. Thank
10 you, Mr. Carman.
11 The only question I would have, the
12 bollards, you said they're retractable, or are they
13 removable?
14 MR. CARMAN: The bollards are
15 retractable. There are -- being that it is the Port
16 Authority, there's a specific rating that these
17 bollards have to meet.
18 CHAIRMAN LANGSTON: Understood.
19 MR. CARMAN: So many of them are fixed
20 in place, and then there are some that are
21 retractable.
22 CHAIRMAN LANGSTON: Okay. And how are
23 they operated? Is there somebody there 24/7 that can
24 retract those for emergency vehicles? As we know,
25 emergencies, you know, don't respect working hours

1 all the time.
2 MR. CARMAN: Right. So the logistics of
3 that we will fully work through, but, often, the
4 emergency vehicle has a control that will be able to
5 bring them down.
6 CHAIRMAN LANGSTON: Okay. Yeah,
7 that's -- that's it for me. That was my main
8 concern.
9 Anybody else, any questions for
10 Mr. Carman?
11 COMMISSIONER TORRES: This is
12 Commissioner Torres.
13 CHAIRMAN LANGSTON: Go ahead, Eddie.
14 COMMISSIONER TORRES: I really love what
15 you're doing there. I've worked in the area
16 sometimes, and it's great to see you're trying to
17 control the traffic in that area.
18 My question, though, is: Are there
19 going to be any timelines for the office buildings,
20 the Hyatt, Port Authority, to have deliveries and
21 movement of trucks that come all day long in that
22 area? How would they get -- you know, the Exchange
23 Place 10, all those buildings? There's always
24 constant, constant deliveries in that area, and then
25 that -- on that street. What are we going to do with

1 them now, all day long? Is there a plan you have for
2 that?
3 MR. PEPE: Commissioner Torres, to some
4 degree, deliveries will still achievable through the
5 18-foot-wide pathway that we've provided, which is
6 going to be over by the Starbucks and the Hyatt House
7 side of the operation. That's not going to be
8 restricted.
9 As to Plaza X and the other areas,
10 they're no longer going to be able to get deliveries
11 in this area. It's been designated as a pedestrian
12 plaza by the city council. All of those buildings
13 have alternative means with which to get access.
14 COMMISSIONER TORRES: Okay.
15 COMMISSIONER DESAI: I have a question.
16 How about transportation for persons with disability
17 and parking around there?
18 MR. PEPE: The site -- I think, Tom, the
19 site's been designed completely to be handicap
20 accessible. Correct?
21 MR. CARMAN: Certainly, the whole plaza
22 itself is ADA accessible.
23 COMMISSIONER DESAI: And parking for
24 handicapped or anything?
25 MR. CARMAN: There is not specific

1 parking for the plaza itself. Vehicular parking is
2 no longer permitted within this space; however, there
3 is parking at the adjacent buildings.
4 MR. PEPE: And just to be clear,
5 Commissioner, because it is important, for people
6 trying to access the PATH station, there's still
7 going to be drop-off potential down at the end of
8 Christopher Columbus, and on York Street, that would
9 be accessible right up to the -- you know, right up
10 to the waterfront walkway. But parking will be
11 prohibited throughout the pedestrian plaza area,
12 except for on that 18 -- and it's really not going to
13 be wide enough, but, I guess, short term, on the
14 18-foot drive path. And you could get access all the
15 way through to the walkway through that path as well,
16 but we're not encouraging parking here, this is going
17 to become a pedestrian plaza.
18 MR. ALAMPI: Mr. Pepe, are we going to
19 hear with respect to the master plan and the -- what
20 appears to me the obvious concept of pedestrian
21 friendly in lieu of vehicular traffic?
22 MR. PEPE: Counsel, I had not planned on
23 presenting any testimony with respect to the
24 compatibility with the master plan. I don't know if
25 any of the city's planners have any input with

1 respect to that; we've been sharing these designs
2 with them for quite some time. But -- and I believe,
3 you know, one of the Vision Zero is a big impetus for
4 the city right now, and an important aspect of the
5 master plan itself, which is to provide for
6 pedestrian safety.
7 MR. ALAMPI: Without a shadow of a
8 doubt, Counsel.
9 MR. PEPE: And those are elements that
10 we're -- you know, that we're accomplishing, clearly.
11 I think that, to head off other
12 questions that I can anticipate, the improvements
13 will be constructed and maintained by the Exchange
14 Place District Management Corporation, and funded by
15 the Exchange Place Alliance.
16 CHAIRMAN LANGSTON: Okay. Thank you,
17 Counsel.
18 All right. Anything else, Counsel? Or
19 is that your presentation?
20 MR. PEPE: I have my civil engineer
21 here, in case there's any questions, Gabrielle
22 Gornelli, but that is my presentation.
23 CHAIRMAN LANGSTON: Okay. Yeah, I think
24 I'm satisfied with the presentation of Mr. Carman. I
25 don't know if I would need anything extra. I'll open

1 it up to the board, if anybody wants a civil
2 engineer, if anybody has any extra questions for a
3 civil engineer.
4 COMMISSIONER HORTON: Chairman, not the
5 civil engineer, but I just have one quick question.
6 I'm looking at the emergency vehicle
7 route. I'm assuming this was addressed, but would
8 the route accommodate all forms of vehicles, you
9 know, fire engines, and larger vehicles as well?
10 MR. CARMAN: Yes, that was designed to
11 accommodate fire engines, and we did share that with
12 city engineering as well.
13 MR. HORTON: Thank you, appreciate it.
14 CHAIRMAN LANGSTON: Thank you, Peter.
15 MR. PEPE: And for the record, we met
16 with the office of emergency management as well.
17 MS. CLARK: Don, I think one thing that
18 might be relevant for the civil engineer is the
19 project does not meet the green area ratio. My
20 understanding is a lot of this is based on
21 requirements for vehicle loads and materials that are
22 needed to support these emergency vehicles, and just
23 the heavy -- the nature of the heavy use of this
24 site. I don't know if the civil engineer could speak
25 to that a little bit.

1 MR. PEPE: Sure, we can ask Gabrielle to
2 come in and speak to it, but Ms. Clark, as I think
3 you'll recall when we originally had a substantial
4 additional green area; in fact, I think most of the
5 original design was a lawn area that was altered,
6 most recently, at the request of city planning and
7 city engineering. Even that plan, strangely enough,
8 did not meet the green area ratio requirements. So
9 taking the plaza from a complete 100 percent
10 impervious area, and adding a lawn that covered 75
11 percent of it, the plan still did not meet the
12 requirements, really just because of the way the
13 requirements are designed; they're designed to
14 address buildings, not necessarily open plaza areas.
15 That's my understanding. I don't know if you concur.
16 And, Gabrielle, I don't know if you have
17 any additional input.
18 GABRIELLE GORNELLI,
19 having been duly sworn, testified as follows:
20 MS. GORNELLI: Gabrielle Gornelli,
21 G-A-B-R-I-E-L-L-E, G-O-R-N-E-L-L-I.
22 CHAIRMAN LANGSTON: Ms. Gornelli --
23 DIRECT EXAMINATION
24 BY MR. PEPE:
25 Q. You're a licensed civil engineer and

1 your license is current?
2 A. Yes.
3 CHAIRMAN LANGSTON: And that's in the
4 great state of New Jersey. Correct?
5 MS. GORNELLI: Yes.
6 CHAIRMAN LANGSTON: Thank you. You're
7 qualified.
8 A. Yeah, I can speak a little bit on
9 that. Yes, Mallory's correct, a lot of this area
10 we did need to have, structurally, to be able to
11 support the emergency vehicles. But I can speak,
12 you know, generally, from my understanding of the
13 green area ratio, it's to encourage -- you know,
14 it's to encourage these flood prevention measures
15 on sites that have heavy development, like
16 buildings, things like that. That's why you see --
17 green roofs gives you a lot of credit for green
18 area ratio in the Jersey City ordinance; detention
19 tanks, which are not required when you're adjacent
20 to the river itself; things like having certain
21 fixtures inside your building.
22 A park, by nature, is flood-resilient
23 design, because when you have a type of flood like
24 we have here in a tidal flood area, where it's
25 typically a hurricane or something like that, where

1 we know the flood is coming in advance, you can
2 evacuate these type of areas, and you allow the
3 flood waters to come to this zone. You know,
4 unlike a building or something like that, where
5 there's really going to be a lot of property
6 damage, an open space is really a flood-resistant
7 design by nature. So while we're not meeting the
8 green area ratio with the design, you know, it --
9 we believe that it is -- it meets the intention,
10 because it is a flood-resistant design, because
11 it's a park.
12 MS. CLARK: And this probably seems
13 obvious, but just for the sake of the record, would
14 you confirm that you are increasing the
15 impermeability -- or the permeability of the overall
16 site from where it stands today in the proposed
17 design?
18 MS. GORNELLI: Yes, the nature of the
19 improvements will increase pervious cover on the
20 site, so we will be bettering the stormwater
21 management on-site, as well as, by not allowing
22 vehicles on the majority of the site, it's going to
23 allow for cleaner stormwater runoff coming on the
24 site, because the vehicles, they -- when they mix
25 with the rainwater, they create, you know, more dirty

1 rainwater.
2 MS. CLARK: Thank you.
3 And then, the only other question I had
4 for Don's team is just for clarity for the board.
5 Can you just confirm that the current design does
6 allow for community events, similar to what has been
7 done in the past here with the 4th of July event, and
8 other local festivals, can be accommodated in the
9 proposed configuration?
10 MR. PEPE: Yeah, so that was actually a
11 very significant concern for the administration, for
12 planning, and for us. The project has been designed
13 to accommodate a full-size stage, which has been used
14 with respect to the 4th of July celebrations year
15 over year; it's also designed to accommodate a
16 smaller stage up front, and several, several festival
17 tents, I think upwards of 40.
18 I don't know, Tom, if you have one of
19 those slides handy, just to show what the layout with
20 the stage would look like.
21 MR. CARMAN: I can, Don. As Don is
22 indicating, we did multiple layouts. This is one of
23 those layouts that shows a stage that is the smaller
24 stage. That's, like, 14-by-30. That would allow for
25 people to congregate within the plaza area. And

1 then, we show -- this has about 22 tents, but we've
2 done multiple different scenarios where we had
3 upwards of 40 tents, and then a situation where maybe
4 the stage is placed in this location, as done for the
5 4th of July kind of event. So it's very --
6 MR. PEPE: And Tom --
7 MR. CARMAN: -- in nature.
8 MR. PEPE: Tom. We studied the trucks
9 movements that would be necessary to place those
10 items as well?
11 MR. CARMAN: Correct, that's another
12 thing that -- related to the retractable bollard
13 locations, just making sure that there was adequate
14 circulation to get these stages into these locations.
15 And we ran it for a smaller stage, which we're
16 showing here, as well as the larger stage.
17 CHAIRMAN LANGSTON: Thank you.
18 Mr. Carman, did you do the work on both
19 stages being there, or just singly, the large stage
20 or the small stage?
21 MR. CARMAN: We had the -- we have a
22 plan that actually shows a larger stage within this
23 location as well. So --
24 CHAIRMAN LANGSTON: That's good, but no,
25 my question is: Is there room for two stages, or are

1 we just talking about either the small stage or the
2 large stage, not both?
3 MR. CARMAN: Yeah, so I think --
4 MR. PEPE: Well, I --
5 MR. CARMAN: -- if there was to be
6 another stage, I think the opportunity to do another
7 one set up on the Grundy Pier could be possible.
8 CHAIRMAN LANGSTON: Okay. Understood.
9 MR. PEPE: Chairman Langston, we're not
10 trying to dictate the festival setups, those would be
11 up to the people. But I think that we're showing the
12 smaller stage here, from the plan that I recall,
13 having seen with respect to the larger stage, which
14 is much further back, you could accommodate both. I
15 think, if you wanted to, you could probably
16 accommodate three stages.
17 CHAIRMAN LANGSTON: Okay. All right.
18 Excellent. Thank you.
19 All right. Mallory, anything else? Are
20 you satisfied? Mallory, still have you there?
21 MS. CLARK: Sorry, I'm talking to myself
22 over here. I think that's everything; I just wanted
23 to make sure the board had clarity on before we move
24 to public.
25 CHAIRMAN LANGSTON: Okay. Thank you.

So before we open to public, I'll open to the board one more time. Anybody else have any questions, concerns, that haven't been addressed?

MR. ALAMPI: Chair, just before you open it to the public, I want everybody to understand that this is a Section 31 review. The reason it is a Section 31 review is because that is the section number under the MLUL in which this type of applicant would appear before the board. And the board's role is to provide a review, and that review is limited in scope.

The reason I asked the question regarding the master plan, obviously, this is what is envisioned for this particular property. It is supposed to be a pedestrian plaza. So this is what the applicant is proposing. This is what their vision after a lot of work seems to be. They've discussed this in community meetings; they've discussed this with the office of emergency management, and various other engineering, planning, and departments here in the city. So this is the proposal, and I think that the applicant has more than explained how they came to this proposal, as opposed to just all green space and lawn.

So I, personally, am satisfied, as far

as how it rectifies -- or reconciles with our zoning ordinances, and particularly with the master plan, and the way the Vision Zero portion of the master plan is achieved.

So with that, we can open it up to public, but that's the role of the board here this evening, and we can -- we can move to public comment.

CHAIRMAN LANGSTON: All right. Thanks, Counsel.

And, Mr. Carman, can you please stop your screen share?

MR. CARMAN: I can.

CHAIRMAN LANGSTON: Thank you, sir.

All right. So, at this time, let's open it up for public comment. If anybody's here from the public and you'd like to comment on this application, I see a number of hands raised already, if you could, please raise your hand; if you are calling in and you'd like to comment, please press star 9 to raise your hand.

MR. BLACK: Okay. Promoted Margaret McGrath.

M A R G A R E T M c G R A T H, having been duly sworn, testified as follows:

MS. McGRATH: M-A-R-G-A-R-E-T,

M-c-G-R-A-T-H.

CHAIRMAN LANGSTON: Ms. McGrath, good evening. We have three minutes for you.

MS. McGRATH: Okay. I'm opposed of the 7 feet high obstruction around Katyn Monument and plantings, especially I'm talking about 7 feet high -- this so-called -- you know, the wall. This obstruction is not only insult to the monument, but for the people who, in 2018, including myself and my hub, for whole nine months, we fought for this monument to sustain in this place. And we -- I believe this is -- creating this so-called wall would not allow us to have meetings or celebrations and memorials.

This is my concern.

CHAIRMAN LANGSTON: Okay. Thank you, Ms. McGrath.

MS. McGRATH: Thank you.

MR. BLACK: Promoting Richard Branca.

CHAIRMAN LANGSTON: All right. Thank you.

R I C H A R D B R A N C A, having been duly sworn, testified as follows:

MR. BRANCA: Richard Branca, B-R-A-N-C-A.

CHAIRMAN LANGSTON: Mr. Branca, good evening. We have three minutes for you.

MR. BRANCA: Okay. Very quickly, then, I'll get to the point. I am involved with the Concord Hospitality, I'm the hotel manager, and I am also involved as an investor. And we have two issues. I've talked to Mr. Pepe about this, and Mr. DeMarco.

One was we wanted to make sure that the work is done in phases, so that we -- you know, because this is our front entrance to our hotel, which is a 256-room hotel, as you know, the Hyatt House. So we want to make sure that is done in phases, so we can figure out how to get our guests in and out.

And the other one is I did talk to Mr. Pepe about the entranceway that we -- if we park parallel, we only have, like, one or two cars, maybe two cars maximum, and we need more like six or seven. So we wanted the slanted parking instead of the parallel parking, and Mr. Pepe said he thought we could do that, even though the plan doesn't show it.

CHAIRMAN LANGSTON: Okay. Anything else? But we'll get those questions answered for you. Anything else, sir?

1 MR. BRANCA: No, that was it, you know,
2 as far as the phased work and the slanted parking in
3 front. Other than that, I think we can work the
4 design.
5 CHAIRMAN LANGSTON: Okay. Thank you.
6 And, Mr. Pepe, anything you want to
7 address?
8 MR. PEPE: Yeah, so, Chairman Langston,
9 we are committed to phasing the project to maintain
10 access to the Hyatt Hotel. Obviously, it's a
11 critical issue. I can't say that there won't come a
12 period, for a very short period of time, where access
13 will have to be prohibited, so that we can lay the
14 paving areas in front, but we are developing -- we
15 have developed a phasing plan that will maximize
16 access and minimize any interruptions, and we're
17 committed to that.
18 With respect to parking, we have
19 competing desires here, actually, that came from city
20 engineering, which was to shrink the width of the
21 access roadway that's providing access to the Hyatt
22 House to 18 feet, to provide greater area for the
23 actual pedestrians. So, you know, we've given the
24 Hyatt its own dedicated drop-off area that can
25 potentially stage, I think, far more than two cars.

1 But we've taken those things into consideration, and
2 weighed all of the competing requirements, and we
3 believe that the pedestrians take precedence.
4 CHAIRMAN LANGSTON: Okay. Thank you,
5 Counsel. And I agree, I think the master plan spells
6 that out.
7 Okay. If we could, let's move on with
8 public comment, please.
9 MR. BLACK: Promoted Gosia Porwit.
10 G O S I A P O R W I T, having been
11 duly sworn, testified as follows:
12 MS. PORWIT: My name is Gosia Porwit,
13 P-O-R-W-I-T, G-O-S-I-A.
14 CHAIRMAN LANGSTON: Ms. Porwit, good
15 evening. We have three minutes for you.
16 MS. PORWIT: Sure. Good evening,
17 Mr. Chairman and commissioners and everybody else. I
18 am retired surveyor and landscape architect from
19 Pennsylvania. And, also, I represent Polish-American
20 community.
21 I love the location of the Katyn
22 Monument as it is right now. It is properly exposed.
23 And, actually, picture of it on -- with the
24 background of New York City is just gorgeous and
25 represents wonderful, beautiful Jersey City.

1 My concern is about the size of the
2 place for the Polish community, cultural
3 organization, to celebrate. And, actually, April
4 is -- today is the 82nd anniversary of that terrible
5 genocide.
6 So, again, I'm concerned about the size
7 of the place, to celebrate, and, also, I'm very
8 concerned about the site -- size of the trees. The
9 trees, they're shown on the plan, at least five huge
10 trees, and some smaller ones, additionally to the
11 berm and this very high bench. I believe this is too
12 much of an obstacle to show the monument the proper
13 way.
14 So that's my concern. Thank you very
15 much for the opportunity to raise my opinion.
16 CHAIRMAN LANGSTON: Thank you,
17 Ms. Porwit. We appreciate it.
18 MS. PORWIT: Thank you.
19 MR. BLACK: Promoting APorwit.
20 (Whereupon, there is a brief pause in
21 the proceeding.)
22 MR. BLACK: Promoting Andrzej Burghardt.
23 A N D R Z E J B U R G H A R D T,
24 having been duly sworn, testified as follows:
25 MR. BURGHARDT: Andrzej Burghardt,

1 that's spelled A-N-D-R-Z-E-J, last name
2 B-U-R-G-H-A-R-D-T.
3 CHAIRMAN LANGSTON: Mr. Burghardt, good
4 evening. We have three minutes for you.
5 MR. BURGHARDT: Good evening.
6 Ladies and gentlemen of the board, thank
7 you for taking your time to listen to this case
8 tonight. I am going to address the board with regard
9 to the -- from a perspective of Polish-American
10 community, for whom the Katyn Monument has very
11 important value.
12 By means of introduction, the Katyn
13 Monument was erected in Jersey City in early '90s,
14 1990s, to commemorate the genocide committed by the
15 Soviet communist regime against Polish people. In
16 the forest near Katyn, a village in Russia close to
17 the border of Belarus, about 14,000 Polish army
18 officers held by service as prisoners of war, in
19 addition to about 8,000 civilians, were murdered in
20 1940.
21 In 2001, a special plaque was added to
22 the monument, as it was designated also to
23 commemorate the tragedy of the 9/11 terrorist attack.
24 Then, in 2010, another plaque was added
25 to commemorate the explosive destruction of the

1 airplane with the president of Poland on board over
2 Smolensk, in Russia, which, with growing certainty,
3 was carried out by the orders of the Russian
4 authorities, just like in Katyn in 1994.
5 The Katyn Monument stands in Jersey
6 City's Exchange Plaza as an ominous memento of the
7 horrors which Marxism, totalitarianism, and terrorism
8 bring on freedom, peace, and welfare of humanity.
9 It's our duty to let it stand there prominently, and
10 with due dignity, to remind us to act in such a way
11 that we and our future generations do not have to
12 suffer from these horrors again. The war in Ukraine
13 today signifies that humanity forgets these lessons
14 too quickly and easily.
15 Now, I will point out what,
16 particularly, is wrong with the design of -- the plan
17 of redevelopment of Exchange Plaza appears to be
18 constructed according to two main design
19 principals -- I mean, within the vicinity of the
20 monument -- to obscure the Katyn Monument from public
21 sight to the greatest extent possible; and B, to make
22 gatherings and ceremonies at the monument as
23 difficult as possible, by limiting space for
24 participants, as well as access from the front, in
25 addition to hiding these ceremonies from public view.

1 Item two, the overall space around the
2 monument is way too small to allow the typical number
3 of ceremony participants, which was usually around
4 200. Where the other crowd can stand? Was there an
5 intent to split participants into several isolated
6 groups?
7 Number three, the oval is laid out in
8 such a way that the monument stands in the wrong spot
9 of it. The front of the monument's facing west,
10 towards the city, not towards the river; thus, such
11 design appears to be an intentional mockery of both
12 the monument and the celebration of the space. There
13 is only a very limited space, about 12 feet, left
14 between the front of the monument and high benches,
15 which block access to the front of the monument.
16 CHAIRMAN LANGSTON: Mr. Burghardt, I
17 apologize; that's your three minutes, sir.
18 MR. BURGHARDT: Well, thank you very
19 much for hearing me.
20 CHAIRMAN LANGSTON: Thank you. We
21 appreciate your time.
22 MR. BURGHARDT: Thank you.
23 MR. BLACK: Okay. I'm promoting
24 Ms. Porwit.
25 CHAIRMAN LANGSTON: Okay. Thanks, Cam.

1 MR. PEPE: Once she comes on, I would
2 volunteer, Mr. -- Chairman Langston, that we've
3 incorporated into our plans that we are going to hire
4 a conservationist to clean, restore, repair the Katyn
5 Monument. It is absolutely going to be protected
6 during the construction process. We revere the
7 statue as well.
8 CHAIRMAN LANGSTON: Okay. Thank you.
9 And -- okay. We do have Mr. Porwit.
10 MS. PORWIT: Yes, he's at my computer.
11 A N D R Z E J P O R W I T, having been
12 duly sworn, testified as follows:
13 MR. PORWIT: Andrzej Porwit,
14 A-N-D-R-Z-E-J, P-O-R-W-I-T.
15 CHAIRMAN LANGSTON: Mr. Porwit, good
16 evening. We have three minutes for you.
17 MR. PORWIT: Okay. Great.
18 I am a retired professional engineer in
19 many states of east coast of the United States, and
20 with experience, construction experience, not only in
21 the United States, but in Germany and Poland.
22 My major concern about this design now,
23 it's a trap for human being in case of panic. People
24 may end up in this big berm, behind the berm, and
25 nobody will be able to let them out. This huge

1 mistake, mental mistake in this design, it has to be
2 open, because people have to have ability to flood
3 around the monument. There's a lot of ceremonies,
4 Poles like to have meetings, and God forbid some
5 terrorist attack or whatever, we may end up with
6 thousands of dead people. So I would really
7 recommend removing this berm, removing this wall, and
8 leave the plaza open as it is.
9 There's something else. There's
10 thousands of Hyatt hotels in the world. This one in
11 Jersey City is peculiar, because it has this monument
12 in front of the building. So everybody will know,
13 okay, this is Jersey City, because Hyatt Hotel is
14 over there. So don't cover it. Don't create traps
15 for humans.
16 Thank you very much.
17 CHAIRMAN LANGSTON: All right. Thank
18 you, Mr. Porwit, we appreciate your time.
19 MR. BLACK: Promoted Val.
20 V A L E R I Y V E R K H O V S K I Y,
21 having been duly sworn, testified as follows:
22 MR. VERKHOVSKIY: Valeriy Verkhovskiy,
23 V-A-L-E-R-I-Y, last name V-E-R-K-H-O-V-S-K-I-Y.
24 CHAIRMAN LANGSTON: Mr. Verkhovskiy,
25 good evening. We have three minutes for you, sir.

1 MR. VERKHOVSKIY: Good evening,
2 Chairman, and members of the board. I have great
3 concerns with this project. As an attendee of the
4 4th of July -- well, pre-COVID 4th July events, and
5 other events that happened at the plaza, my biggest
6 concern -- now, renovations, obviously, is a great
7 thing, and the thought here is really -- you know,
8 I -- I like the thought, I like the materials that
9 are being used, and the bollards are a good thing,
10 and all that.
11 My biggest concern is it shrinks the
12 area. And I anticipate there'll probably be more
13 attendees in the future than last events. Prior
14 events, there was no space to move, and to shrink
15 this area further, I think, creates hazards. It's
16 going to create a dangerous environment. I do highly
17 think that this area needs to be open. It needs to
18 be completely open, not cut off like it is in this
19 design.
20 But, overall, I think the look of it is
21 good. The 3-D images were, you know, pretty cool.
22 But that's my biggest concern, safety. The shrinking
23 of the area, is -- you know, I don't think that's a
24 good idea, it needs to expand versus, you know,
25 shrinking it.

1 Thank you so much.
2 CHAIRMAN LANGSTON: All right. Thanks,
3 Val. As always, we appreciate you.
4 MR. VERKHOVSKIY: Thank you.
5 MR. BLACK: Promoting Marek Skulimowski.
6 MAREK SKULIMOWSKI,
7 having been duly sworn, testified as follows:
8 MR. SKULIMOWSKI: M-A-R-E-K,
9 S-K-U-L-I-M-O-W-S-K-I. I'm the president of the
10 Kosciuszko Foundation.
11 So I do share the same concerns --
12 CHAIRMAN LANGSTON: Good evening, sir.
13 We have three minutes for you.
14 MR. SKULIMOWSKI: Excuse me?
15 CHAIRMAN LANGSTON: We have three
16 minutes for you, sir.
17 MR. SKULIMOWSKI: So I do share the same
18 concerns of my predecessor. So the excessive height
19 of the benches, I think it should be an open area
20 with some benches around, of course.
21 You have to understand that this
22 monument's getting new relevance with the Russian
23 invasion in Ukraine, so you will have more gatherings
24 over there. It's simply Russia hasn't changed for 82
25 years, since the Katyn happened, and I think that

1 would be the place to celebrate and to teach history,
2 history of what has happened -- what has happened in
3 the past and what is happening right now.
4 So that's why, if you could consider
5 opening up this place a little bit, lowering the
6 benches to make the place more visible, and, of
7 course, more spacious, not only limited to 70 people.
8 Thank you so much.
9 CHAIRMAN LANGSTON: All right. Thank
10 you, sir. We appreciate it.
11 MR. BLACK: Promoting Krystyna
12 Piorkowska.
13 KRYSTYNA PIORKOWSKA,
14 having been duly sworn, testified as follows:
15 MS. PIORKOWSKA: Krystyna,
16 K-R-Y-S-T-Y-N-A, Piorkowska, P-I-O-R-K-O-W-S-K-A.
17 CHAIRMAN LANGSTON: Good evening, ma'am.
18 We have three minutes for you.
19 MS. PIORKOWSKA: Aside from not agreeing
20 with the fact that there were open meetings with the
21 community and so on, which I think needs to be part
22 of the record, and that questions were not answered.
23 I think what is of significant importance is that
24 Mr. Carman has only presented his renderings. You
25 have not seen the engineering drawings to which

1 everyone has been referring to, and, therefore, you
2 cannot understand what the references are to.
3 The bench that is going to be located
4 around the memorial is 5 and a half feet wide --
5 high, excuse me. The back of it is 5 and a half feet
6 high. There was one rendering, number 5, which
7 showed the height of a person walking past, and they
8 were concealed by the bench.
9 You should ask for the engineering
10 drawings, which will then also show that this is a
11 berm behind the bench, on which will be growing
12 shrubs and plants, for a total height of 7 feet.
13 This will totally conceal the base of the memorial.
14 If there was to be something, greenery,
15 around the memorial, which certainly would not have
16 been opposed by Mr. Pitynski, the sculptor, it should
17 be an open access; i.e., quarter circles on the north
18 and on the south sides of the memorial. That would
19 give greenery; it would allow for free passage, both
20 of attendees who wish to be present at observances at
21 the memorial, as well as people who are attending any
22 events on the plaza. With respect to any safety
23 issues, it would also allow for open passage of
24 individuals who are on the plaza.
25 Finally, any self-serving statement made

by Mr. Pepe that the memorial will be undergoing conservation, that is part of the requirements and the duties of the Exchange Place SID, so I don't see why he is referring to it.

However, they will be chopping away an apron, which, until now, there has not been an art conservation specialist engaged by the Exchange Place Alliance, despite many requests, to analyze whether the apron at the very base is required to stabilize the memorial. You may have a situation that the memorial will collapse once that base is removed. I'm not saying it will; I'm saying it may. There should be a qualified conservator, sculptural conservator, hired. Matthew Reilly, who used to work for the New York City Central Park Conservancy, was a student of Mr. Pitynski. I would encourage that the planning board require that he be brought in to study the situation with that apron.

CHAIRMAN LANGSTON: Okay. Thank you, ma'am. That was your three minutes.

MS. PIORKOWSKA: And I finished.

CHAIRMAN LANGSTON: Thank you. We appreciate your time.

MR. BLACK: Promoting Jeanne Daly.

JEANNE DALY, having been duly sworn, testified as follows:

MS. DALY: Can you hear me?

CHAIRMAN LANGSTON: We can. Can you start your video again for us?

MS. DALY: Yes, let me do that. One moment.

CHAIRMAN LANGSTON: And let's let the record show that Ms. Daly has been sworn in and is still under oath tonight.

MS. DALY: Very good.

CHAIRMAN LANGSTON: Thank you.

MS. DALY: I really wish we had more than three minutes, because I think this plan deserves more than three-minute comment period.

I know this is a Section 31 review, but I must state that I beg to differ with Mr. Pepe. Mr. Pepe has stated that they had five public meetings that were partially dedicated to this plan. As someone who's attended every single Exchange Place Alliance meeting, except for the ones where they prohibited me for attending, you were never able to, A, make a comment, or if you were allowed a comment, you had two minutes to make a statement which was never replied to. That's it. This was never brought

to the community, which is an embarrassment, especially when we're talking about the Jersey City Master Plan. It's about community. There has been no input whatsoever.

Now, as Mr. Pepe said, they must defer to the pedestrians. Well, why do we have a corporate roadway going down to the 15 Exchange Place? It's supposed to be for pedestrians. 15 Exchange Place has access via York Street. We need to preserve our public plaza for this -- for us, for everyone in Jersey City, not for these private corporate interests. I do know the Hyatt House Hotel does have a franchise, the only franchise holder in that area, and their franchise is only half the size of the entrance that DeMarco has put together.

Now, again, this was supposed to go out for public bidding. Under New Jersey local public contracts law, this had to go out to public bidding, and it wasn't; it was awarded to Mr. DeMarco's friends that he hired when he was at Mack-Cali.

Additionally, we also have what's called a New Jersey Public Trust Doctrine. What this means is visual -- perpendicular, visual site access must be maintained and preserved. This is the public trust doctrine. This means, as you head down

Montgomery, that open wide space that you see with the skyline behind it, the New York City skyline and Hudson River, that must be preserved. It cannot be unreasonably obstructed. And that's exactly what this surround that is on the plan is going to do, obstruct nearly two-thirds of the visual view of the Hudson.

This is not what Jersey City needs. We need access to all our wonderful spaces. We need to have access to the views of the waterfront. We need to have our events right there, with the backdrop of the waterfront; not some kind of berm/plantings that rise 7 feet high.

I don't understand how this happened -- well, actually, I do understand how it happened, and it really is an insult. This is not the way Jersey City needs to address things regarding its master plan. It needs and requires community input; none was had. And I can prove that, if Mr. Pepe wants, because I videotaped all your meetings.

CHAIRMAN LANGSTON: All right.

MS. DALY: So that's my statement. I request that this be -- I know you only -- it's a Section 31 review, and I apologize for that. Thank you for your time.

1 CHAIRMAN LANGSTON: Thank you, we
2 appreciate it.
3 MR. BLACK: Promoted TJ.
4 THOMAS KAZALSKI, having
5 been duly sworn, testified as follows:
6 MR. KAZALSKI: Thomas Kazalski,
7 K-A-Z-A-L-S-K-I. I am a member of the
8 Polish-American Heritage League.
9 And I have -- I take great interest,
10 I've gone to many of the Katyn celebrations. I think
11 Mr. Carman has done a great job of creating very
12 intimate setting for the statue, but that's the exact
13 opposite of what people need. They need to be able
14 to see the statue, the greenery, the trees, the
15 chairs, they're all nice, but they're too high, they
16 block access to the statue. I agree, there are
17 safety concerns. I -- one of the previous speakers
18 said, hey, how about something on the north and the
19 south side with some seats, but we don't need them 7
20 feet tall. Something that's more reasonable, so you
21 can see the statue, so people have access to the west
22 side of the statue and the river side of the statue,
23 the east side. That would be a much more practical
24 to -- you know, as a member of the Polish community,
25 to us, when we come to the Katyn celebration several

1 times a year. And I personally stop there probably a
2 dozen times a year. If I happen to be on the path
3 line for Exchange Place, I pay the double fare, get
4 off, walk up to the Katyn statue, and back down
5 again, after I've spent a few moments there, for the
6 22,000 who were killed.
7 That's my statement.
8 CHAIRMAN LANGSTON: Okay. Thank you,
9 sir. We appreciate it.
10 MR. BLACK: Promoting Irena.
11 IRENA GUILLOM, having been
12 duly sworn, testified as follows:
13 MS. GUILLOM: Irena Guillom, I-R-E-N-A,
14 G-U-I-L-L-O-M.
15 CHAIRMAN LANGSTON: Good evening, ma'am.
16 We have three minutes for you.
17 MS. GUILLOM: Okay. I think that a lot
18 of it has already been stated, but I'd like to state
19 that the Katyn Monument is very important to all
20 Polish-Americans, as well as many Jersey City
21 residents. It reminds us of horrible genocide
22 committed by the Russians in World War II. Thousands
23 of Polish officers were brutally murdered, with hands
24 tied behind their back and a bullet placed in the
25 back of their head.

1 My parents, and many of our relatives
2 and friends, participated in raising money in order
3 to construct a monument. When built, the monument
4 was placed on the plaza, which, at the time, was not
5 of any significance to the local politicians and
6 businessmen. This is not the case today. The design
7 of the Katyn Monument shows that the intention is to
8 obscure the monument from the project site to the
9 greatest extent possible, and to make gatherings and
10 ceremonies at the monument as difficult ass possible.
11 What you have shown what the -- I don't
12 remember the person's name -- is the renderings.
13 It's pictures. You have not shown plans, you have
14 not shown any measurements, and it's very, very
15 deceitful.
16 Anyway, sorry, Mr. Pitynski, a world
17 renowned sculptor who created the monument, did wish
18 for greenery around the monument, and Jersey City
19 residents, as well as the Polish-Americans,
20 wholeheartedly support landscaping on the plaza.
21 Please remember that Master Pitynski created Katyn
22 Monument also in Baltimore and Boston, for example.
23 The residents of these cities are very proud to have
24 Master Pitynski's work there.
25 It does not seem to be the case with the

1 Jersey City. The design of this Exchange Place Plaza
2 around the Katyn Monument shows an over 7 feet
3 extraction at the west side of the plaza, which is
4 also the front of the monument. There's absolutely
5 no reason to construct a bench that is over 5 feet
6 tall. The bench is not -- is so close to the
7 monument that people sitting there will have -- will
8 have to strain their necks upwards in order to look
9 at the monument.
10 People at the gatherings and festivals
11 will no longer face the water and the beautiful New
12 York City skyline. The area around the monument is
13 too small for gatherings and festivals that draw more
14 than 200 people. There's absolutely no reason to
15 impose such draconian limitations.
16 Dear Planning Board Commissioners: I am
17 asking you to reject the current plan for the
18 redesign of the current plaza, and to let the Katyn
19 Monument stand there in a dignified way.
20 Thank you so much.
21 CHAIRMAN LANGSTON: Okay. Thank you,
22 ma'am. We appreciate your time.
23 MR. BLACK: Promoting Kristen.
24
25

1 KRISTEN ZAZROGA-HART,
2 having been duly sworn, testified as follows:
3 MS. ZADROGA-HART: Kristen
4 K-R-I-S-T-E-N, Zadroga-Hart, Z-A-D-R-O-G-A, dash,
5 H-A-R-T.
6 CHAIRMAN LANGSTON: Ms. Zadroga-Hart,
7 good evening. We have three minutes for you.
8 MS. ZADROGA-HART: Hi. Thank you so
9 much.
10 I want to reiterate what everyone else
11 has said, because, basically stated, I think everyone
12 whose spoken so far are among the people who fought
13 so hard to keep the monument where it is.
14 While I appreciate the upgrades to the
15 pedestrian plaza, I just have a few questions as
16 well:
17 If it's truly a pedestrian plaza, why is
18 there a private driveway, basically, for the hotel
19 there? There's access on York Street to everything
20 that needs to be accessed. If those -- if the
21 walkway -- the driveway, I'm sorry, could be removed,
22 there'd be more space for festivals and people could
23 still access from the York Street side vehicular,
24 people could walk in as they please.
25 I'd like to note, it's about -- I mean,

1 I'm sure you can't go to the exact number, but how
2 many people could attend festivals with this layout,
3 compared to how the layouts were previously? I know
4 I attended a few of the meetings that were stated as
5 public meetings. They were not public meetings where
6 there was give-and-take. You basically could give a
7 question or a comment, and there was no exchange,
8 nothing -- you didn't get anything back. If they
9 didn't like your question, it was just ignored and
10 moved on.
11 There was something stated in one of the
12 meetings that, if there was a festival, you could
13 have setup on the tables that were towards the front
14 of the plaza, which are, if you looked at the
15 pictures, they were basically two-seater cafe tables.
16 I don't know what kind of festival could set up ott
17 three or four two-seater tables.
18 And, finally, obvious is the benches
19 around the statue. I think everyone has complained
20 about that, questioned it. When you come back to the
21 start of the whole battle to keep the statue where it
22 was, it was because the statue was called, I believe,
23 gruesome. So this just goes back to the fact that it
24 seems as if you're trying to come back and hide the
25 statue, obscure it. And why can't those benches be

1 lowered, or just greenery, or as people have
2 suggested, no one's against having shrubs, or a place
3 to observe and reflect, but why do the benches have
4 to be so high, and why do they have to be placed
5 where you can only enter from the back of the statue?
6 I think that's kind of -- not kind of, very
7 disrespectful to Master Pitynski, and what he wanted
8 and wished for the Polish-American people as it -- or
9 just people in general in a democratic society, we
10 should be able to enjoy the statue, reflect there,
11 and it shouldn't be obscured, it should be part of
12 festivals, not hidden away from them.
13 So I know this is just not for you to
14 approve or vote down, but I would hope that you could
15 offer some of those suggestions that we come back and
16 see the exact numbers, because the pictures don't
17 really show -- computer renderings don't -- I didn't
18 see any measurements tonight, or anything exact, but
19 things that we've seen in the past show that the
20 statue will be obscured as it is. So I hope you can
21 make those suggestions, and make it so that we don't
22 hide the statue.
23 Thank you.
24 CHAIRMAN LANGSTON: Okay. Thank you.
25 Appreciate it.

1 MR. BLACK: Promoted Suzanne.
2 SUZANNE MAZURCZYK,
3 having been duly sworn, testified as follows:
4 MS. MAZURCZYK: Suzanne Mazurczyk,
5 S-U-Z-A-N-N-E, Mazurczyk, M-A-Z-U-R-C-Z-Y-K.
6 CHAIRMAN LANGSTON: Good evening, ma'am.
7 We have three minutes for you.
8 MS. MAZURCZYK: Thank you. I just want
9 to grab my notes real quick, sorry.
10 I am the current treasurer for the
11 Committee for the Conservation of the Katyn Monument
12 and Historic Objects. Our organization helped lead
13 the fight, along with many others here, to protect
14 the statue in 2018, and have continued to engage in
15 conversation with the town. Representatives from our
16 organization have met with Elizabeth Kean and her
17 assistant, Martin, about the process for the
18 renovation.
19 And we do, like others, appreciate the
20 renovation concept to add greenery and make it a
21 cleaner and more accessible space for all of the
22 public; however, the -- earlier, after those
23 conversations, and meeting and reviewing plans, we
24 expected there to be more greenery, and the lawn --
25 we approved of many of those improvements; however,

1 these latest renditions seemed to show the area more
2 closed in, as others have indicated. And for the
3 large gatherings that we have, we understand that
4 other groups are meeting, but I think that more
5 expansive, less-confined area would allow more
6 flexibility.
7 During 2018, when we collected
8 approximately 6,000 signatures of supporters, also
9 not -- from outside of the Polish community, we met
10 some interesting people. I met an Indian woman who
11 actually had her wedding photographs taken at the
12 statue. So although some may find the statue
13 gruesome, and not appealing -- and I can understand
14 people saying -- a concern the hotel has about who
15 might come to say, what they will be looking at, but
16 I've even done Google searches, and to my curiosity,
17 found that the statue has -- I believe, now,
18 considered one of the top destination sites for
19 Jersey City.
20 So I don't think people come to Jersey
21 City for a Walt Disney effect. I think it's a
22 multicultural mecca, it's well respected across the
23 nation, and I think people -- I see people taking
24 photographs there all the time.
25 And I also -- I appreciate the concerns

1 others voiced about the stability of the statue, and
2 the apron, should it be removed, in cleaning up and
3 renovating the area.
4 And I also have a great concern about
5 the return of food trucks nearby, which were not
6 indicated on earlier plans. I note, from previous
7 visits, the fans that these trucks blow, blow the fat
8 from greasy food that they fry -- not to disparage
9 their food, but in this location, with the winds
10 blowing, it tarnishes the grounds -- any kind of --
11 well, the greenery would absorb it better than the
12 cobblestones and so forth, and, certainly, the
13 granite statue, it just adheres to that.
14 So a drop-off spot by the hotel would be
15 something I'd be open to, but I agree with others, if
16 they can be accommodated from the York Street side --
17 I think visitors at the Hyatt coming would welcome a
18 pedestrian friendly area that they could walk around,
19 and not be running away from the smells and sounds of
20 trucks nearby --
21 CHAIRMAN LANGSTON: That's your three
22 minutes, ma'am. I apologize.
23 MS. MAZURCZYK: Thank you.
24 CHAIRMAN LANGSTON: Thanks, we
25 appreciate your comments.

1 And shout out to the El Chilango Taco
2 Truck. That's my buddy Mike down there all the time.
3 Great truck.
4 MR. BLACK: Promoting Alicja.
5 Okay. Alicja declined to be promoted.
6 Promoting Marius Bielski (ph).
7 THE REPORTER: Marius, if you're
8 driving, we can't be taking testimony from you.
9 MR. BIELSKI: Okay.
10 CHAIRMAN LANGSTON: Sir, we can't take
11 -- thank you.
12 Okay. I see Alicja's hand raised, Cam.
13 Can you give it one more shot there?
14 MR. BLACK: Okay. She's promoted.
15 CHAIRMAN LANGSTON: Okay. Thank you.
16 A L I C J A J A C H N A, having been
17 duly sworn, testified as follows:
18 MS. JACHNA: A-L-I-C-J-A, J-A-C-H-N-A.
19 CHAIRMAN LANGSTON: Good evening, ma'am.
20 We have three minutes for you.
21 MS. JACHNA: Good evening.
22 I basically agree with every statement
23 which was brought up by commentators. I'm a
24 mechanical engineer with a license in New Jersey. I
25 am very concerned about safety, about open space,

1 about the benches, high benches around the monument.
2 It's meant to be open. It's meant to be viewed.
3 Some do call it gruesome. The crime was
4 gruesome, not the monument. Monument is just showing
5 what happened -- three times. And we cannot have a
6 [inaudible] that. So thank you.
7 And, also, all the concerns by Ms. Daly
8 should be really examined, and we should address
9 them.
10 Thank you.
11 CHAIRMAN LANGSTON: Okay. Thank you,
12 ma'am. We appreciate your time.
13 All right. Anybody else, if you'd like
14 to comment, please raise your hand; if you're calling
15 in and you'd like to comment, you can press star 9,
16 please.
17 MR. BLACK: Promoting Edward.
18 E D W A R D J E S M A N, having been
19 duly sworn, testified as follows:
20 MR. JESMAN: Edward Jesman, E-D-W-A-R-D,
21 last name J-E-S-M-A-N.
22 CHAIRMAN LANGSTON: Mr. Jesman, good
23 evening. We have three minutes for you.
24 MR. JESMAN: No, I will be short.
25 This whole thing started with an effort

1 to remove the monument, and, later, progressed to an
2 effort to relocate the monument, and right now, we
3 have an effort to obstruct the view of it. I am an
4 active participant in the Polish-American community,
5 I preside over two organizations, and I think that
6 the community is something more than just commercial
7 interests; it's about values and a sense of history.
8 Please preserve this monument the way it is, and
9 please don't obstruct the view of it.
10 Thank you very much.
11 CHAIRMAN LANGSTON: Okay. Thank you,
12 sir. We appreciate it.
13 All right. Anybody else, if you'd like
14 to comment, please raise your hand. Once again, if
15 you're calling in, you can press star 9 to raise your
16 hand.
17 MR. BLACK: Promoted Susan.
18 VICTORIA ANELIEWSKI,
19 having been duly sworn, testified as follows:
20 MS. ANELIEWSKI: Victoria is easy enough
21 for anybody to spell, and A-N-E-L-I-E-W-S-K-I is the
22 last name. And I was here --
23 CHAIRMAN LANGSTON: Ma'am, we have three
24 minutes for you.
25 MS. ANELIEWSKI: Thank you for taking

1 me.
2 I was here with the groups when we first
3 were getting signatures from people all over Jersey
4 City, until midnight, getting them, and then staying
5 in with the town at the meetings, to make sure that
6 everything was the way it should be. And the way it
7 is today is beautiful. And as my daughter said
8 before, someone mentioned that they had their wedding
9 picture before that.
10 But we had the councilman who was here,
11 the late Mr. Hewn (ph), who said to me, he said,
12 well, it was for what Poland is for, and that's what
13 we are now -- for my country, he said it's my people.
14 And I figured, if he liked it that way, where should
15 we, kind of, say he's wrong, and put all these things
16 in front of the building. So it's an obvious effort
17 to try to wipe it out altogether. But the Polish
18 people are not to be wiped out. So just keep
19 remembering that. Amen.
20 Like the Ukrainians, yes, they should
21 not be wiped out.
22 Thank you for --
23 CHAIRMAN LANGSTON: All right. Thank
24 you, ma'am.
25 All right. Anybody else, if you'd like

1 to comment, please raise your hand. Once again, if
2 you're calling in, you can press star 9 to raise your
3 hand.
4 VICE CHAIRMAN GONZALEZ: Mr. Chair, I
5 see no more public. I move to close the public.
6 COMMISSIONER HORTON: Second it.
7 CHAIRMAN LANGSTON: Okay. We have a
8 motion and a second.
9 (Whereupon, a voice vote is taken; a
10 chorus of "ayes" heard.)
11 CHAIRMAN LANGSTON: Public is closed.
12 Before we bring Mallory up, Mr. Pepe, do
13 you have an idea on the capacity in the current
14 design?
15 MR. PEPE: I don't want to be
16 misleading. I've heard the number 200-plus thrown
17 around. I mean, it's not a small area, if you've
18 ever been to the Vietnam War Memorial in Holmdel, New
19 Jersey, the Vietnam War Memorial, it's actually a
20 larger space than that.
21 But, Tom, did we do a body count, as to
22 how many people could fit in that semicircle area?
23 MR. CARMAN: We did not do an actual,
24 you know, person count for the area, no.
25 CHAIRMAN LANGSTON: Okay. Thank you,

1 guys.
2 VICE CHAIRMAN GONZALEZ: Mr. Chair, I
3 have one -- can I just ask a real quick question?
4 CHAIRMAN LANGSTON: Absolutely.
5 VICE CHAIRMAN GONZALEZ: I know I
6 heard -- it was kind of a lot of people were saying
7 that, you know, the community involvement. I just
8 want to, for the record -- how many times did you
9 meet with them? You might have said this before, and
10 I'm sorry if I missed that.
11 MR. PEPE: So we discussed the plans for
12 the park on no less than five of our Exchange Place
13 meetings, which were Open Public Meetings Act
14 meetings that were published in the newspaper, and
15 the plans were always provided on our site. We had
16 one global community meeting that was published in
17 the newspaper specifically to address the plans, and
18 notice was sent to people within 200 feet.
19 VICE CHAIRMAN GONZALEZ: Okay. Thank
20 you very much for that.
21 CHAIRMAN LANGSTON: All right. Thank
22 you, Counsel.
23 All right. Mallory, do you want to wrap
24 up for us -- unless, Mike, do you want to take a
25 break real quick?

1 THE REPORTER: A ten-minute break?
2 Sure.
3 CHAIRMAN LANGSTON: Yeah, I know, we're
4 almost an hour late for it. It's 8:20 now; let's
5 come back at 8:30, please, everybody.
6 (Whereupon, there is a brief pause in
7 the proceeding.)
8 CHAIRMAN LANGSTON: All right. So,
9 Mallory, we're up to you.
10 MS. CLARK: Yes. So I would offer,
11 given the public comment tonight, that the Alliance
12 could consider just adding, you know, a break in the
13 planter and seat wall at the front of the statue, to
14 allow, kind of, more open, throughway access. It's,
15 you know, a design change I would offer them to
16 consider moving forward.
17 Other than that, I would say this is
18 consistent with the goals of the master plan, and the
19 Open Space Element, and the larger OurJC vision. You
20 know, they're not changing the inherent use of the
21 site from what it is today, which is a public plaza;
22 this is more of just a design and aesthetic upgrade
23 from the current conditions.
24 I would say that the traffic safety
25 measures that they've coordinated with the office of

1 engineering do improve pedestrian safety and are
2 consistent with the Vision Zero goals of the city.
3 They've been in an iterative process with the
4 engineering office and other emergency response teams
5 throughout the city, to ensure that, you know,
6 everything can operate safely while prioritizing the
7 pedestrian experience in the plaza.
8 Other than that, I think, you know, if
9 the board has any questions for me regarding, you
10 know, the master plan and other matters, you know, I
11 think that we've covered most things in design.
12 I do just want to offer, and I'm sure
13 the board has all seen the technical plans, as well
14 as the civil engineering set and the landscape
15 technical drawings have been available on the data
16 portal since the distribution deadline, so I'm sure
17 you all had time to review those as well.
18 CHAIRMAN LANGSTON: Yes, we did.
19 I mean, the only thing I'd like to say
20 is I -- I do agree with the idea of rehabbing the
21 pedestrian plaza. I don't know why we need to put
22 5-foot-tall benches on a berm around the statue
23 that -- a statue that obviously means a lot to a lot
24 of people. It's a Jersey City landmark. It's -- you
25 know, I love that statue. I respect everything it

1 represents, and I -- I don't -- I don't see a world
2 where I can support the current design around that
3 statue.
4 Do I think we should have flowers
5 planted around it? Sure. Do I think we should have
6 benches around it? Yes. But I also agree with the
7 safety concerns. I don't think that's the proper
8 design. So, you know, I would like to see some
9 softening of the design, lower the benches, make the
10 statue more visible. You know, one of the members
11 from the public commented about sitting that close to
12 the statue. How do you see that? It's like sitting
13 in the front row of a movie theater. It's crazy.
14 So, yeah, I just -- I can't support a
15 design that obstructs the view of that statue. I
16 don't think this design adds to the beauty of the
17 statue; I think it takes away from it, if anything.
18 But, you know, anybody else, if you want
19 to comment before we make the motion --
20 COMMISSIONER GANGADIN: Chair, I totally
21 agree with you on that. The statue signifies what
22 Jersey City's always about as well.
23 CHAIRMAN LANGSTON: Agreed.
24 COMMISSIONER GANGADIN: And those
25 benches are not needed there. That height of the

1 bench, and to be so close to that statue, I think
2 it's such a total disrespect.
3 CHAIRMAN LANGSTON: Yeah.
4 COMMISSIONER GANGADIN: And I truly
5 can't support that design myself, looking at it and
6 analyzing it as well, I truly can't.
7 CHAIRMAN LANGSTON: Okay.
8 COMMISSIONER HORTON: Chair, I would
9 just add that I agree that I think the vegetation
10 and, you know, the plantings around there, you know,
11 add to the environment there, but I think it should
12 be more to accent and highlight the statue, not in
13 any way impede it or, you know, block the view of New
14 York, or block the view of the statue, or anything
15 around that area. I think it should be open and
16 enjoyable for everyone, and be able to serve
17 everyone, for whatever reason they go down there. So
18 I agree.
19 CHAIRMAN LANGSTON: Agree.
20 VICE CHAIRMAN GONZALEZ: Mr. Chair, I'll
21 reserve my comments for when we vote, but I think, at
22 this point, I'd like to -- having heard everything,
23 I'd like to make a motion to not accept and not
24 recommend the current presentation of the review and
25 discussion of public plaza design for updates to the

1 Exchange Place Pedestrian Plaza at Hudson Street and
2 Montgomery Street, wrapping north to Christopher
3 Columbus Drive, and perhaps having them, you know, go
4 back to the drawing board, as it pertains vis-à-vis
5 to the actual statue and the surrounding – and the
6 proximity of the statue.
7 So my motion is to not accept and not
8 recommend, as it is presented today, this
9 presentation.
10 COMMISSIONER GANGADIN: Second.
11 CHAIRMAN LANGSTON: Okay. So we have a
12 motion and a second to not accept.
13 MS. CLARK: Correct. So that means an
14 aye vote is to not recommend the plans as provided.
15 CHAIRMAN LANGSTON: Yes.
16 MS. CLARK: Commissioner Torres?
17 COMMISSIONER TORRES: You know, what the
18 other commissioners said, what the chairman said, and
19 that's with respect to the presentation, that part of
20 the waterfront, it's not there for just the statue.
21 As one speaker said, it's not – we don't – the
22 area's not revolved around the monument, but the
23 monument is there, it has a significance and a
24 history in Jersey City, which is what we are all
25 about, and like one person brought up, and that

1 really struck me, was when I come down Montgomery,
2 when I come down that street, that view of New York,
3 the view of the water, that's being obstructed. That
4 is unacceptable. It's not something that should be
5 checked out.
6 I hope, if they go back to the
7 community, that the next time we don't hear something
8 like the community had no input; questions, you know,
9 were written down. That's not a community meeting.
10 That's not what this board stands for. We want
11 community meetings to be an interactive basis, ask
12 questions, have input, feel like you had some input.
13 And with that, I'm going to vote yes
14 that we all strike this one down.
15 MS. CLARK: Commissioner Horton?
16 COMMISSIONER HORTON: I believe my
17 previous comments kind of stand for themselves, maybe
18 I'd just emphasize that -- you know, not only should
19 it highlight the statue, but the view itself, kind of
20 like Commissioner Torres said, is important. So I
21 want to make sure that's opened up, so everybody can
22 enjoy it equally.
23 So I vote aye for no.
24 MS. CLARK: Commissioner Green?
25 COMMISSIONER GREEN: It's a no.

1 MS. CLARK: It's a no? Okay. So you're
2 a no vote. Correct?
3 COMMISSIONER GREEN: You said aye for
4 no. Correct?
5 MS. CLARK: Aye for no. So are you an
6 aye vote or are you a no vote?
7 COMMISSIONER GREEN: Yeah, an aye for a
8 no vote.
9 MS. CLARK: All right. Thank you. Just
10 want to make sure I'm clear on that.
11 Commissioner Gangadin?
12 COMMISSIONER GANGADIN: Yeah, I just
13 want to thank the community for coming out and
14 voicing their concerns. Community input is very
15 important; not just saying we published a meeting or
16 we informed them about the meeting, but having the
17 community input with a dialogue of back and forth,
18 and agreeing, is very helpful. And I'm sure this
19 would not have been the situation here this evening
20 if the community had some input into it as well.
21 So my vote tonight is an aye.
22 MS. CLARK: Commissioner Allen?
23 COMMISSIONER ALLEN: Aye.
24 MS. CLARK: Commissioner Dr. Desai?
25 COMMISSIONER DESAI: I echo with the

1 community. And then the view from that area, whole
2 New York view, Jersey City, that's the part everybody
3 enjoys. And those benches, they are too big. So I
4 vote aye for no vote.
5 MS. CLARK: Vice Chair Gonzalez?
6 VICE CHAIRMAN GONZALEZ: Thanks,
7 Mallory. I think I was supposed to go first, but
8 it's all right.
9 I have a lot to say, actually. Exchange
10 Place is my port of entry into New York. I have an
11 office in New York, for those of you who know or may
12 not know. I get to see that statue on, you know,
13 probably a daily basis. And the first thing I want
14 to say is I think it's beautiful, and I know what it
15 means. And I am very thankful that the public came
16 out and talked about, you know, the -- how important
17 the area, the statue, and what the statue means to
18 them and for them.
19 I have a couple of things that I have to
20 say.
21 One is, for the public, thank you for
22 coming out and expressing, because we hear you. We
23 definitely hear you. People don't understand that we
24 actually take the comments of the public very
25 seriously.

But number two is that I don't want you to completely knock off this, because, for Mr. Pepe and the application, this is -- this is a step up of what it is now. One of the things that I don't like about that area is that I've always felt that it's very unsafe. Cars can come in very close to the statue, drive around the statue, and not only is it, for the pedestrian usage, a problem for the pedestrian usage, but also for the -- for the area and for the statue.

And so I do want you guys to, kind of, go back to the drawing board with Mr. Pepe, and understand that this is actually a really nice plan. Had it not been for those benches being so close to the statue -- I think, Mr. Pepe, you can now hear that people are very against that, including the planning board; otherwise, it's not a bad idea to have this, because it would just draw more attention to the statue, if we do, sort of, close it you have a little more than it is now, and it will become more of a focal point for the area.

And so I am going to vote aye for no, to go back to the drawing board, meet with the public, but come up with something that's not too different than what you had presented, but what -- a little bit

more reverence to that statue, as, obviously, Mr. Pepe, you have seen today, people are very, very vocal of.

So my vote is aye for no.

MS. CLARK: Okay. And Chairman Langston?

CHAIRMAN LANGSTON: Yeah, I'll just reiterate everything I said before. I think, you know, the design, as far as taking the statue situation out of it, I think it's a great design. I think it hits all the points of the master plan. It's -- you know, it's all about pedestrian access; the waterfront walkway is maintained. It's a great plan, but I think that statue needs to be celebrated, and this design does not do that. That statue needs to be celebrated.

It should be -- you know, it is that area. And anybody that knows -- you know, you talk to somebody from out of Jersey City who -- I'm in construction, and, you know, I have a lot of Union brothers and sisters that work in the area, that don't live here, and they know that statue. So any -- anything that would obstruct that statue, and not celebrate that statue, I am 100 percent dead against it. I encourage the applicant to, you know,

plant flowers around it, but respectfully, that maintains access to it.

And I think that's it.

So I am going to vote yes, that I am not in favor of it.

MS. CLARK: Okay. So motion carries, all in favor, to not recommend.

CHAIRMAN LANGSTON: Okay. Thank you, everybody.

MR. PEPE: Thank you for your time.

CHAIRMAN LANGSTON: Thank you.

(Whereupon, the hearing concluded at 8:43 p.m.)

CERTIFICATE

I, Michael Lombardozzi, a Notary Public and Certified Court Reporter of the State of New Jersey, do hereby certify that the foregoing is a true and accurate transcript of the testimony as taken stenographically by and before me at the time, place, and on the date hereinbefore set forth.

I do further certify that I am neither a relative nor employee nor attorney nor counsel of any of the parties to this action, and that I am neither a relative nor employee of such attorney or counsel and that I am not financially interested in this action.

Michael Lombardozzi,
Certified Court Reporter, State of New Jersey
CERT #: 30X100239700
Date: 10 May 2022

Q

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Exhibit P

CITY OF JERSEY CITY
PLANNING BOARD

In the Matter of: :
: Transcript
CASE P21-142 :
: of
SECTION 31 REVIEW FOR PUBLIC :
PLAZA DESIGN FOR EXCHANGE PLACE : Proceedings
PEDESTRIAN PLAZA; RECONSIDERATION:
----------x

Tuesday, May 10, 2022
Zoom Remote Videoconference
Commencing at 5:47 p.m.

BOARD MEMBERS PRESENT:
CHRISTOPHER LANGSTON, Chairman
DR. ORLANDO V. GONZALEZ, Vice Chairman
JOYCE WATTERMAN, Council President (recused)
EDWARDO TORRES, Commissioner
GEOFFREY ALLEN, Commissioner
DR. VIJAY DESAI, Commissioner
STEVEN LIPSKI, Commissioner (recused)

APPEARANCES:
SANTO T. ALAMPI, ESQUIRE
Attorney for the Board

SCARINCI HOLLENBECK
BY: DONALD M. PEPE, ESQUIRE
Attorneys for the Applicant

MICHAEL LOMBARDOZZI,
Certified Shorthand Reporter

PRECISION REPORTING SERVICE
CERTIFIED SHORTHAND REPORTERS
(908) 642-4299

ALSO PRESENT:
TANYA MARIONE, A.I.C.P., P.P.
Director of Planning
City Planning Division
CAMERON BLACK, A.I.C.P., P.P.
Senior Planner
City Planning Division
MALLORY CLARK, A.I.C.P., P.P.
Senior Planner
City Planning Division
TIMOTHY KREHEL, A.I.C.P., P.P.
Principal Planner
City Planning Division

TABLE OF CONTENTS

CHAIRMAN LANGSTON: Let's move on to Item 7B, it's case P21-142, it's a Section 31 review, review and discussion of public plaza design for updates to the Exchange Place Pedestrian Plaza at Hudson Street and Montgomery Street, wrapping north to Christopher Columbus Drive.

COUNCILWOMAN WATTERMAN: I have to recuse myself.

CHAIRMAN LANGSTON: Okay. So let the record show Council President Watterman is recusing herself.

MR. ALAMPI: So, Chairman, if I may, we should get Mr. Pepe up on the screen.

CHAIRMAN LANGSTON: Sure.

MR. BLACK: I'm looking for Pepe.

I found him. Promoted Donald Pepe.

MR. PEPE: Good evening, Chairman Langston.

CHAIRMAN LANGSTON: Good evening, Counsel.

MR. PEPE: Commissioners. Mr. Alampi.

MR. ALAMPI: Good evening, Mr. Pepe.

So, Chairman, what we have on this matter, this is a motion for reconsideration by this body. This was a Section 31 review that was heard at

1 the last meeting of the board.
2 Chairman, Mr. Pepe has filed a motion
3 before the board. I will tell you that, as many of
4 you know, this is a legal request by Mr. Pepe for the
5 board to reconsider the vote that was taken at the
6 last meeting. This is a legal argument, and Mr. Pepe
7 has asked that the board reconsider what was done at
8 the last hearing. He is not asking to present any
9 additional evidence or testimony, but, rather, he is
10 asking the board to reconsider the manner in which
11 the vote was taken, and the basis for the vote.
12 Now, this was a Section 31 review, and
13 as I had indicated the last time, the Section 31
14 review is very limited in scope. This is not a site
15 plan application. This is not an amendment to a
16 redevelopment plan. This is a courtesy review under
17 Section 31 of the MLUL, the Municipal Land Use Law.
18 That provision of the statute states that this body
19 has the right to review and recommend projects of
20 this nature in conjunction with the master plan. So
21 the scope of the review is how consistent the plan
22 proposed or the application proposed is with the
23 master plan, and this body can make recommendations,
24 if it finds that the application is not consistent
25 with the master plan.

1 So Mr. Pepe filed the motion for
2 reconsideration, and says, essentially, that the
3 board undertook its review; however, the question
4 that was posed by the board, and, therefore, the
5 ultimate decision of the board, is contrary to the
6 law. He cites the Ocean County Utility case, and has
7 asked the board to reconsider its position.
8 So the question properly before this
9 body on a Section 31 review is whether or not the
10 application heard by the board and the testimony
11 presented is or is not consistent with the master
12 plan, and that is what should have been voted on by
13 the board. And Mr. Pepe is saying that the board
14 should reconsider that, and determine whether or not
15 what was proposed was or was not consistent with the
16 master plan.
17 Mr. Pepe, is that a fair and accurate
18 description of your motion for reconsideration?
19 MR. PEPE: That's correct, Mr. Alampi;
20 I'd like to put a little bit of a finer point on it,
21 though. It's not specific design elements that the
22 board is challenged to look at under the Section 31
23 review; it's the overall project. And my point was I
24 think that a lot of the vote that took place at the
25 last hearing was related to design elements;

1 specifically, related to the Katyn Monument, and
2 didn't really get to the heart of the issue, which
3 was is the plan consistent with the master plan for
4 Jersey City.
5 MR. ALAMPI: So, Chairman, that is the
6 charge to the board. The question that the board has
7 to answer is whether or not the project, as proposed,
8 the overall improvement to the plaza, is or is not
9 consistent with our master plan. We had some
10 comments from Mallory on behalf of the Planning
11 Division, and they went through the master plan, and
12 the question is does the board find it to be
13 consistent with the master plan; if not, why not?
14 CHAIRMAN LANGSTON: All right. Thank
15 you, Counsel.
16 Do we want to bring up Mallory, at this
17 point?
18 MR. ALAMPI: If you'd like to hear from
19 Mallory, obviously, she is on the screen and
20 available to help the board. I believe that her
21 testimony under oath at the prior hearing was that,
22 as the planner, she was of the position that it was
23 consistent with the master plan, but, again,
24 that's -- that's for the board to determine.
25 CHAIRMAN LANGSTON: Sure.

1 MR. ALAMPI: I don't think we want her
2 to necessarily supplement her testimony, but I
3 believe that that was the testimony provided by
4 Mallory on the issue.
5 CHAIRMAN LANGSTON: Okay. I'm
6 comfortable with that.
7 MR. ALAMPI: If you want to get her to
8 confirm that, that would be appropriate, but I think
9 supplementing would be inappropriate, because we're
10 in board deliberation at this point.
11 CHAIRMAN LANGSTON: Okay. Yeah, just
12 being that we're in a board deliberation, that it's
13 not really a full-blown review here, I think we can
14 just take her comment on the last hearing of this
15 matter, and we can run with those.
16 So I agree with our counsel; I also
17 agree with Mr. Pepe. A Section 31 review -- and I
18 misspoke when it comes to a Section 31 review -- my
19 comments may be more appropriate for a site plan
20 review, rather than a Section 31 review.
21 I do have, you know, some reservations
22 about some of the design elements, but I do find
23 that, all in all, the park does -- the park does
24 comply with the Jersey City Master Plan, the open
25 space elements, the pedestrian elements. I believe I

1 stated that on the record; I may not have.
2 But like I said, I did have specific
3 design element reservations, and I'd like those to
4 stand on the record. But being a Section 31 review,
5 it does comply with the master plan. So maybe I lead
6 the board astray with my design element concerns at
7 the last hearing.
8 And that's it for me. Anybody else have
9 any comments? questions? questions for Santo?
10 questions for me? Anybody? Or counsel?
11 VICE CHAIRMAN GONZALEZ: No, I'll state
12 my comments during the vote, Chairman. But I
13 appreciate your leadership here, thank you.
14 CHAIRMAN LANGSTON: Okay. Thank you.
15 COMMISSIONER TORRES: Yeah, I just would
16 like to say I appreciate the leadership you're taking
17 also. I appreciate the clarification on this. But I
18 would like to -- any other comments, I will do it on
19 my vote.
20 CHAIRMAN LANGSTON: Okay. Understood.
21 Santo, what's our procedure here on a
22 reconsideration? Do we just move to -- we just move
23 to -- I don't know, what do --
24 MR. ALAMPI: Yeah, so, again, it is a
25 motion for reconsideration. The question -- the

1 legal question presented to this body is whether or
2 not the wrong standard was applied. The appropriate
3 action to be taken is a motion to approve or a motion
4 that the application, as presented, is in conformance
5 and consistent with the master plan, or is not in
6 conformance, and is inconsistent.
7 If it is moved that it is inconsistent,
8 then the recommendations that would need to be made
9 to the applicant, and stated for purposes of the
10 record, are what's inconsistent, and what would be
11 done to attempt to bring it into conformity or into
12 consistency with the master plan.
13 So depending on which way the motion is
14 going to be made, then that would be how it gets
15 framed by the movement of the motion. So if it's a
16 motion to find -- or a motion recommending it as
17 consistent, that's the way that would go; if it's a
18 motion finding it to be inconsistent, then there
19 needs to be the stated reasons as to why it's being
20 moved as inconsistent, and what, if anything, could
21 be done to make it consistent, which, of course, the
22 applicant could always reject. I think that Mr. Pepe
23 wants the legal clarification, because it's the right
24 thing, it needs to be done the proper way, and that's
25 the purpose of the motion for reconsideration.

1 The ironic part of all of this is it's a
2 courtesy review. So even if it were determined by
3 this body to be inconsistent with the master plan,
4 with stated reasons on the record, Mr. Pepe and
5 Mr. Pepe's client are free to reject that and go
6 ahead and build whatever it is that they have
7 proposed. So I don't say that for any reason other
8 than for edification purposes.
9 CHAIRMAN LANGSTON: Okay. Thank you,
10 Counsel.
11 And once again, we are not hearing any
12 new testimony on this action tonight, unless the
13 board -- anybody from the board needs new testimony.
14 I think I'd prefer to let the record speak for itself
15 on the last -- the last application.
16 (Whereupon, Commissioner Lipski arrived
17 to the meeting.)
18 MR. ALAMPI: And this is a purely legal
19 argument, with the board reconsidering its prior
20 decision, and how it arrived at that decision. So
21 there's no further testimony. The public comment
22 stands. The testimony stands. It's just a
23 reconsideration of the legal standing applied in the
24 matter.
25 CHAIRMAN LANGSTON: Okay. Thank you,

1 Counsel.
2 So if Mallory has nothing to add, I'll
3 entertain a motion -- or Mr. Pepe.
4 MR. PEPE: No, Chairman. Thank you. I
5 have nothing further.
6 CHAIRMAN LANGSTON: Okay. Thank you,
7 Counsel.
8 VICE CHAIRMAN GONZALEZ: Okay.
9 Mr. Chair, at this time, I'd like to actually make a
10 motion to approve and accept the Section 31 review,
11 review and discussion of public plaza and design for
12 updates to the Exchange Place Pedestrian Plaza at
13 Hudson Street and Montgomery Street, wrapping north
14 to Christopher Columbus Drive, and vote on it as a
15 plan that is consistent with the master plan, and
16 vote upon it favorably.
17 MR. ALAMPI: So, then, Dr. Gonzalez, the
18 motion is to recommend that the application is
19 consistent with the master plan?
20 VICE CHAIRMAN GONZALEZ: That's correct.
21 MR. ALAMPI: That is the motion.
22 VICE CHAIRMAN GONZALEZ: That is the
23 motion.
24 CHAIRMAN LANGSTON: Okay. So we have a
25 motion. Do we have a second?

1 COMMISSIONER TORRES: Second.
2 CHAIRMAN LANGSTON: Okay. We have a
3 motion and a second.
4 MS. CLARK: Okay. So just for clarity
5 of the record, because there were some commissioners
6 that were not present at the last meeting, and we
7 have a few less than we did on the original vote, so
8 the commissioners that would be voting on this, who
9 were present at the last meeting, are Dr. Gonzalez,
10 Commissioner Allen, Dr. Desai, Commissioner Torres,
11 and Chairman Langston.
12 CHAIRMAN LANGSTON: Got you. Okay.
13 Thank you, Mallory.
14 MS. CLARK: Yep.
15 So on a motion to recommend as
16 consistent with the master plan, Dr. Gonzalez?
17 VICE CHAIRMAN GONZALEZ: I will vote
18 aye. I will -- I have a few comments that I want to
19 just make. And this is for Mr. Pepe and his client,
20 and for, really, everyone. I've been on the board
21 for 10 years, I believe, so I have a very good
22 understanding, I think, of what's happening in the
23 city.
24 I will just say that, oftentimes, when
25 we do Section 31 reviews, it's very difficult,

1 sometimes, to decipher between -- this is from my
2 personal experience -- when we're voting for
3 something, if we have an applicant that is showing us
4 an application where we feel there is a design
5 element that may be not, you know, according to what
6 we like, and it's important for us, the board, to
7 realize that's not what we're voting for.
8 However, on this specific case, I was
9 more concerned with the fact that the -- the public
10 did not have a lot of interaction, from what we were
11 being told, with the client. And so I think the
12 confusion -- I want to just say that, because I don't
13 want Chairman to take the blame on the misdirection,
14 I think that was me as well, and that's where we were
15 standing. And I hope, Mr. Pepe, you understand that
16 we take our job very seriously, and, you know, when
17 we hear things that the client did not meet with the
18 public, or that the public's concerns weren't
19 addressed appropriately, we take that very seriously.
20 And, obviously, you know that we don't really like
21 that much.
22 Does this plan fit with the master plan,
23 yes, the pedestrian, you know, thinking of how we
24 want that plaza to be? Yes, it does. And for that
25 reason, we say that it's consistent with the master

1 plan, and I vote aye.
2 MS. CLARK: Thank you.
3 Commissioner Allen?
4 COMMISSIONER ALLEN: Aye.
5 MS. CLARK: Dr. Desai?
6 COMMISSIONER DESAI: Aye.
7 MS. CLARK: Commissioner Torres?
8 COMMISSIONER TORRES: Yes, there --
9 during your presentation the last time, and I just
10 want to make it real clear on -- that with the
11 response, as Vice Chair Gonzalez -- Dr. Gonzalez just
12 pointed out, the concern was more for what the public
13 was asking about, and what we, as a public -- as a
14 Jersey City resident -- over the week, looking at the
15 master plan, and the consistency of the plan, and
16 what was presented that day, I think -- I think my
17 vote was -- my comment before my vote at that meeting
18 was I did agree with the plan itself and everything;
19 there was just one part of the plan that I didn't
20 agree to.
21 And as a result of noticing now, I
22 guess -- I mean, not guess, I'm 100 percent sure that
23 we are going with the master plan, consistency of the
24 master plan. And with that, there is nothing I could
25 see in this project that is not consistent with the

1 master plan. And with that, I'm going to vote an aye
2 vote. I hope that your clients will look at the
3 comments that were made by the public, and adjust
4 them, but my vote is aye for this project.
5 Thank you.
6 MS. CLARK: Thank you.
7 And Chairman Langston?
8 CHAIRMAN LANGSTON: So as I said before,
9 I stand behind the comments I made on record, as far
10 as the design elements go. As we know, a Section 31
11 review is consistency with the master plan. I do
12 believe the space is consistent with the master plan,
13 as far as, you know, pedestrian connectivity, open
14 space, and the such. But, again, I'd like, you know,
15 the applicant to be aware of the comments we made on
16 record.
17 I do want to apologize to the board if,
18 you know, I led us in a different direction. And
19 that responsibility falls squarely on me, and I take
20 full responsibility for that.
21 But the -- like I said, the Section 31
22 has very clear goals, and I think we treated it more
23 like a site plan, and I'd like to correct that record
24 tonight. So I am going to vote aye.
25 MS. CLARK: Okay. Motion carries, all

in favor, the recommendation.

CHAIRMAN LANGSTON: Okay. Thank you, Mallory.

MR. PEPE: Thank you, Chairman, commissioners.

For the record, I have a profound amount of respect for this board, the work that they do. We did hear the comments. We always have listened to the public; we will continue to do so. We will take them into consideration.

I thank you for your vote.

CHAIRMAN LANGSTON: All right. Thank you, Counsel.

(Whereupon, the hearing concluded at 6:06 p.m.)

CERTIFICATE

I, Michael Lombardozzi, a Notary Public and Certified Court Reporter of the State of New Jersey, do hereby certify that the foregoing is a true and accurate transcript of the testimony as taken stenographically by and before me at the time, place, and on the date hereinbefore set forth.

I do further certify that I am neither a relative nor employee nor attorney nor counsel of any of the parties to this action, and that I am neither a relative nor employee of such attorney or counsel and that I am not financially interested in this action.

Michael Lombardozzi,
Certified Court Reporter, State of New Jersey
CERT #: 30X100239700
Date: 23 May 2022